

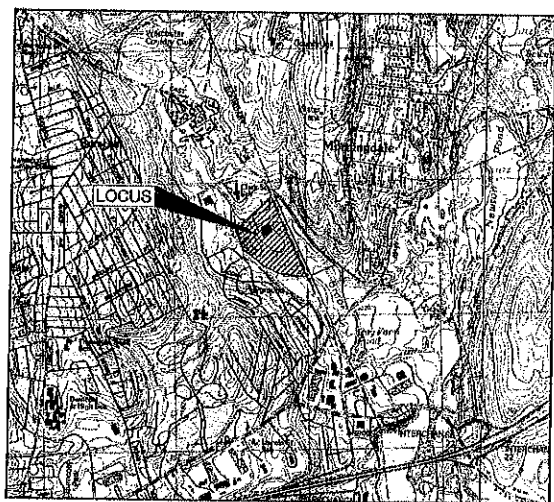
DEFINITIVE SITE PLAN OF LAND AT 115 NORTHEAST CUTOFF

ASSESSORS MAP 52, BLOCK 6, PARCELS 1 & 2

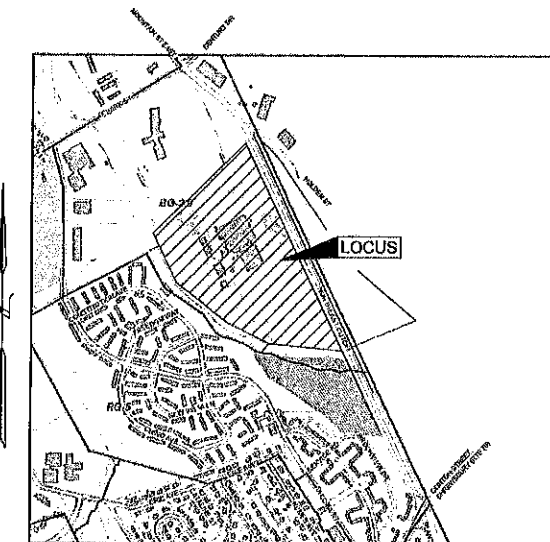
IN WORCESTER, MASSACHUSETTS

APPLICANT/OWNER:
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LL05
WORCESTER, MASSACHUSETTS 01606

CLIENT NUMBER: 1032
JOB NUMBER: 3483261
DRAWING : CHACHARONE ALLEGRO CURRENT



LOCUS MAP
SCALE: 1:25000



LOCUS MAP
SCALE: 1"=800'

PREPARED BY:

THOMPSON-LISTON
ASSOCIATES, INC.

Professional Engineers Professional Land Surveyors
Erosion Control Specialists

51 Main Street, Post Office Box 570
Boylston, Massachusetts 01505-0570
Telephone (508) 869-6151 FAX (508) 869-6842



DATE:
JANUARY 13, 2020

REVISED FEBRUARY 10, 2020
REVISED AUGUST 10, 2020
REVISED OCTOBER 19, 2020
REVISED JANUARY 4, 2021



Robert M. Mackler

- NOTES:
- SUBJECT PROPERTY IS IDENTIFIED AS ASSESSORS MAP 52, BLOCK 6, PARCELS 1 AND 2.
 - OWNED BY 115 NORTHEAST CUTOFF REALTY TRUST.
 - SEE DEED RECORDED AT THE WORD REGISTERED LAND SECTION CERTIFICATE 18181, BOOK 91, PAGE 181.
 - SEE PLANS RECORDED AT THE WORD REGISTERED PLAN SECTION: 15625-E, 34145-A, AND 34201-A. AREA=40.14± ACRES.
 - ELEVATIONS REFER TO NGVD1929 DATUM AND IN THE AREA OF PROPOSED WORK ARE THE PRODUCT OF AN ON-GROUND SURVEY CONDUCTED BY THIS FIRM IN 1990 AND UPDATED IN 2019 IN CERTAIN AREAS TO REFLECT CURRENT CONDITIONS.
 - WETLAND RESOURCE AREAS WERE DELINEATED BY GLENN KREVOVSKY OF EBT ENVIRONMENTAL CONSULTING, INC. AND LOCATED BY INSTRUMENT SURVEY BY THIS FIRM.
 - FLOOD ZONE A IS SHOWN BASED UPON THE CURRENT FEMA FIRM 25027C0820E AVAILABLE ONLINE.
 - THE PROPERTY IS LOCATED IN THE GC-2.0 ZONING DISTRICT AND LIES WITHIN THE WATER RESOURCES PROTECTION OVERLAY DISTRICT (GP-2).

SEE THE FOLLOWING APPROVALS:

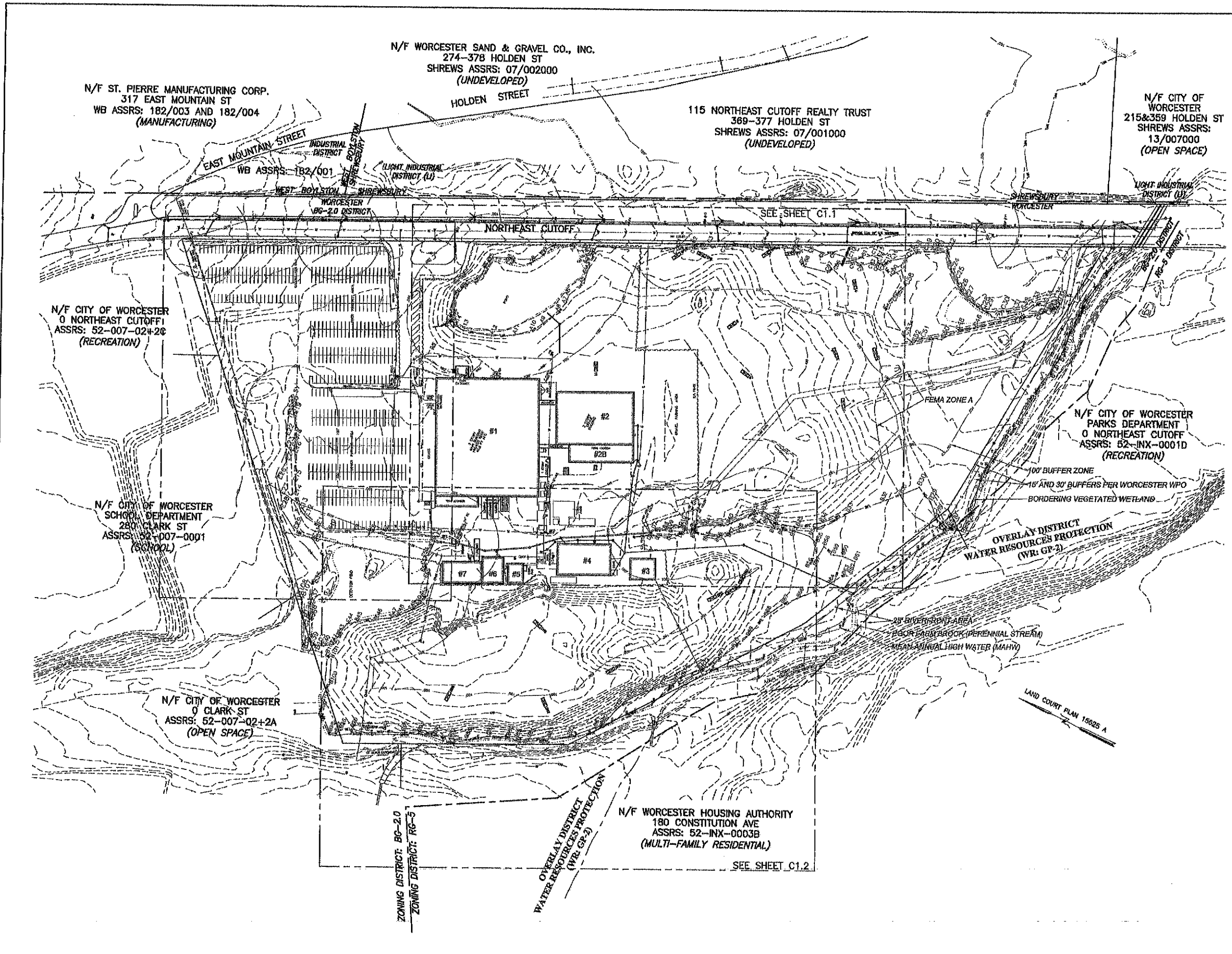
ORDER OF CONDITIONS ISSUED BY THE WORCESTER CONSERVATION COMMISSION ON 12/22/2020 AND RECORDED AT THE WORCESTER REGISTRY OF DEEDS REGISTERED SECTION, BOOK 91, PAGE 181, FOR CERTIFICATE NO. 18181.

SPECIAL PERMIT VOTED BY THE WORCESTER PLANNING BOARD ON 12/9/2020, RECORDED WITH THE CITY CLERK ON 1/13/2021, AND RECORDED AT THE WORCESTER REGISTRY OF DEEDS REGISTERED SECTION, BOOK _____, PAGE _____, FOR CERTIFICATE NO. 18181.

DECISION TO APPROVE THE DEFINITIVE SITE PLAN WITH CONDITIONS OF APPROVAL, VOTED BY THE WORCESTER PLANNING BOARD ON 12/9/2020.

SITE PLAN SHEET DIRECTORY

	SHEET NUMBER	REVISION DATE
EXISTING CONDITIONS	C1.0, C1.1, C1.2	10/30/20
EROSION AND SEDIMENT CONTROLS	C2.0, C2.1, C2.2	1/4/2021
PHASING OF EROSION & SEDIMENT CONTROLS	C2.3.1-6, C2.4.1-6	10/19/2020
PROPOSED LAYOUT & PARKING	C3.0, C3.0.1-2, C3.1, C3.2, C3.3	1/4/2021
GRADING & DRAINAGE	C4.0, C4.1, C4.2, C4.3, C4.4	1/4/2021
UTILITY PLAN	C5.1, C5.2	1/4/2021
CONSTRUCTION DETAILS	C6.1, C6.2, C6.3	1/4/2021
LANDSCAPE PLAN - BY OTHERS	C7.1, C7.2	1/4/2021
GROUNDWATER MODEL	C8.0	1/4/2021
TRUCK TURNING EXHIBIT	C9.0	1/4/2021
PHOTOMETRIC PLANS - BY OTHERS	4 SHEETS	12/2/2020



N/F ST. PIERRE MANUFACTURING CORP.
317 EAST MOUNTAIN ST
WB ASSRS: 182/003 AND 182/004
(MANUFACTURING)

N/F WORCESTER SAND & GRAVEL CO., INC.
274-378 HOLDEN ST
SHREWS ASSRS: 07/002000
(UNDEVELOPED)

115 NORTHEAST CUTOFF REALTY TRUST
369-377 HOLDEN ST
SHREWS ASSRS: 07/001000
(UNDEVELOPED)

N/F CITY OF WORCESTER
215&359 HOLDEN ST
SHREWS ASSRS:
13/007000
(OPEN SPACE)

N/F CITY OF WORCESTER
O NORTHEAST CUTOFF
ASSRS: 52-007-02+20
(RECREATION)

N/F CITY OF WORCESTER
SCHOOL DEPARTMENT
280 CLARK ST
ASSRS: 52-007-0001
(SCHOOL)

N/F CITY OF WORCESTER
O CLARK ST
ASSRS: 52-007-02+2A
(OPEN SPACE)

N/F CITY OF WORCESTER
PARKS DEPARTMENT
O NORTHEAST CUTOFF
ASSRS: 52-INX-0001D
(RECREATION)

N/F WORCESTER HOUSING AUTHORITY
180 CONSTITUTION AVE
ASSRS: 52-INX-0003B
(MULTI-FAMILY RESIDENTIAL)

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 - FLOOD ZONE A IS SHOWN BASED UPON THE CURRENT FEMA FIRM 25027C0620C AVAILABLE ONLINE.
 - THE PROPERTY IS LOCATED IN THE BC-2.0 ZONING DISTRICT AND LIES WITHIN THE WATER RESOURCES PROTECTION OVERLAY DISTRICT (WR-GP-2).

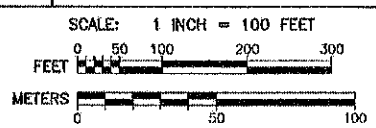
KEY

---	BROOK OR POND HIGH WATER LINE
---	25' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
---	DRAIN LINE
---	SEWER LINE
---	SEWER MANHOLE
---	DRAIN MANHOLE
---	CATCHBASIN WITH HEADER
---	CATCHBASIN
---	FLARED END SECTION
---	WATER LINE
---	WATER GATE
---	WATER SHUT OFF
---	HYDRANT
---	GAS LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS BERM
---	GRANITE CURB
---	GRANITE MONUMENT
---	CONCRETE MONUMENT
---	OVERHEAD WIRES
---	UTILITY POLE
---	CHAIN LINK FENCE
---	2' CONTOUR
---	10' CONTOUR

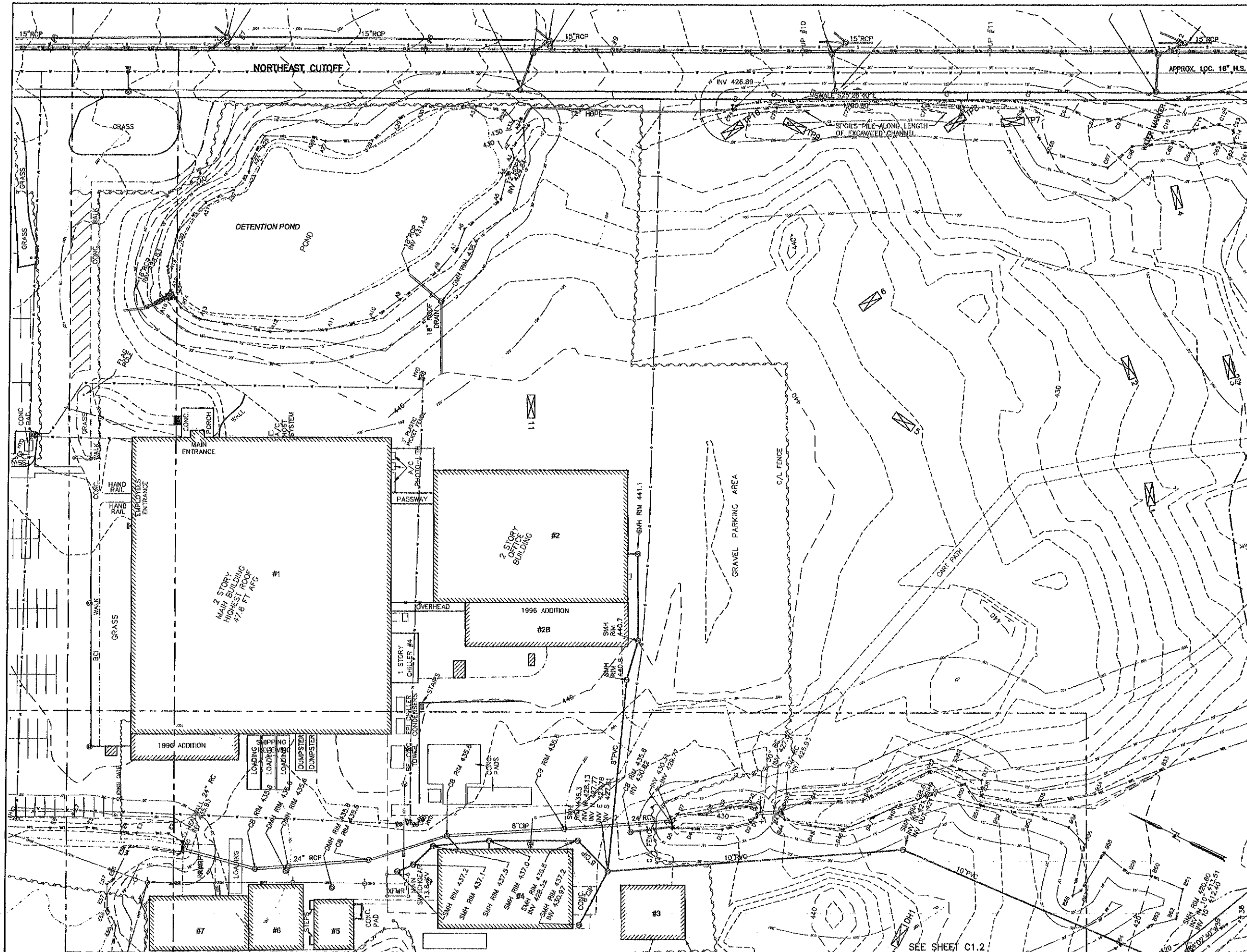


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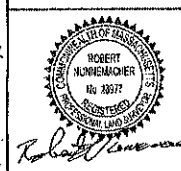
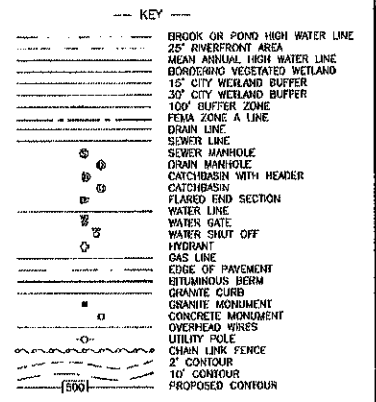
CLT. NO.	1032	JOB NO.	348-3261
DATE:	JANUARY 13, 2020	DWG. NO.	CHACHARONE ALLEGRO CURRENT
REVISIONS			
DATE:	DESCRIPTION		
2/10/2020	UPDATED FOR NOTICE OF INTENT FILING		
10/19/2020	UPDATE FOR CONSERVATION COMMENTS		
10/30/2020	UPDATE FOR PLANNING REVIEW		



DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LL05
WORCESTER, MASS. 01605

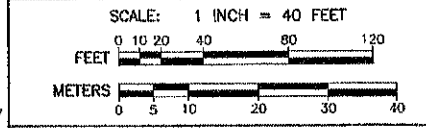


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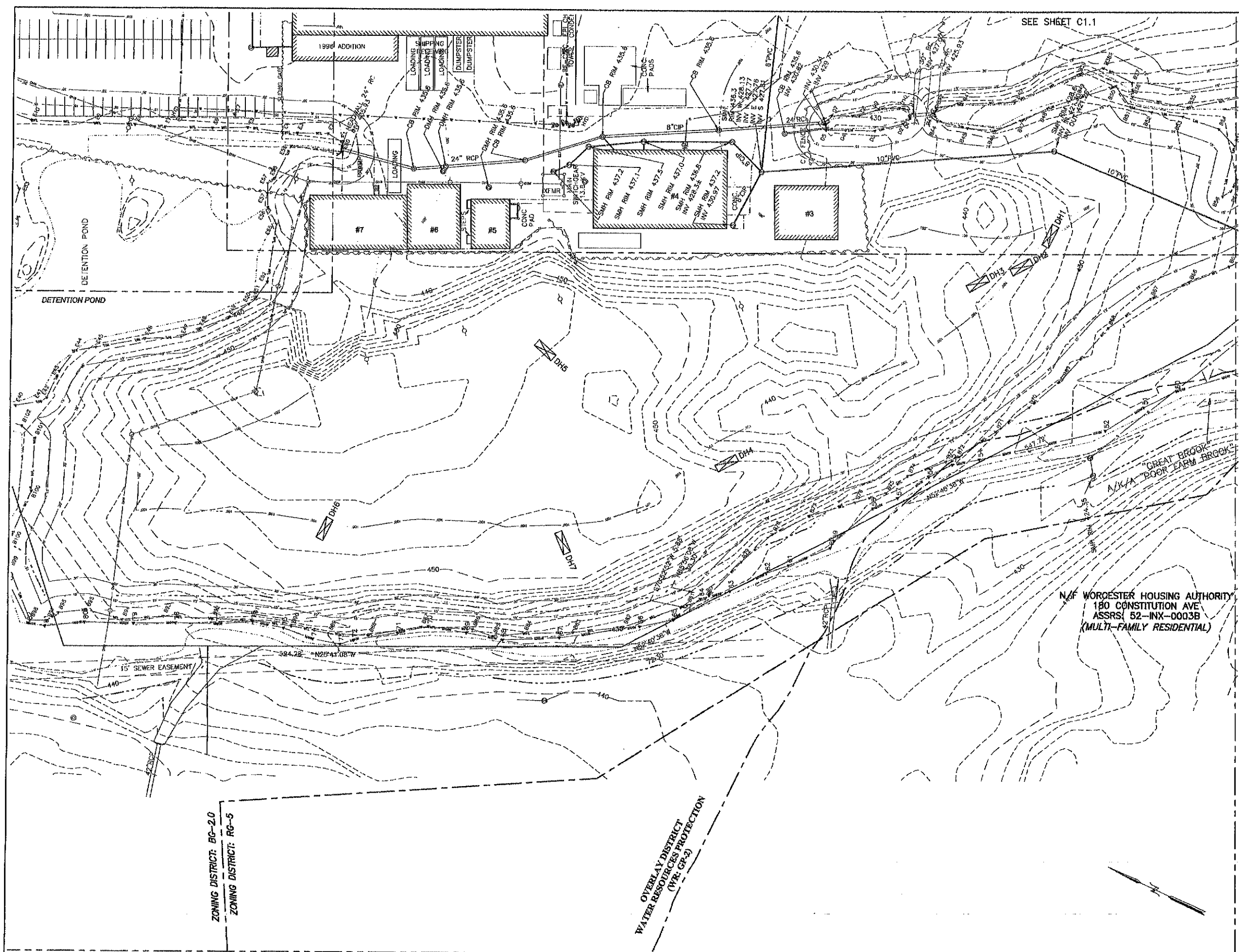
THOMPSON-LISTON ASSOCIATES, INC.
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 51 Main Street, Post Office Box 570, Boylston, MA 01505
 Telephone 508-869-6151 FAX 508-869-6942

CLT. NO.	1032	JOB NO.	348-3261
DATE:	JANUARY 13, 2020	DWG. NO.	CHACHARONE ALLEGRO CURRENT
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DATE:		DESCRIPTION	
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
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 1 WEST BOYLSTON STREET, SUITE LL05
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EXISTING CONDITIONS C1.1

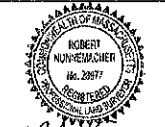


SEE SHEET C1.1

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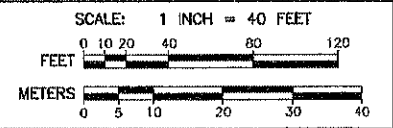
- KEY
- BROOK OR POND HIGH WATER LINE
 - 25' RIVERFRONT AREA
 - MEAN ANNUAL HIGH WATER LINE
 - DEVELOPING VEGETATED WETLAND
 - 15' CITY WETLAND BUFFER
 - 30' CITY WETLAND BUFFER
 - 100' BUFFER ZONE
 - FEMA ZONE A LINE
 - DRAIN LINE
 - SEWER LINE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCH-BASIN WITH HEADER
 - CATCH-BASIN
 - FLARED END SECTION
 - WATER LINE
 - WATER GATE
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 - BIFURCIOUS BERM
 - GRANITE CURB
 - GRANITE MONUMENT
 - CONCRETE MONUMENT
 - OVERHEAD WIRING
 - UTILITY POLE
 - CHAIN LINK FENCE
 - 1" CONTOUR
 - 10' CONTOUR
 - PROPOSED CONTOUR

N/E WORCESTER HOUSING AUTHORITY
 180 CONSTITUTION AVE
 ASSRS: 52-INX-0003B
 (MULTI-FAMILY RESIDENTIAL)



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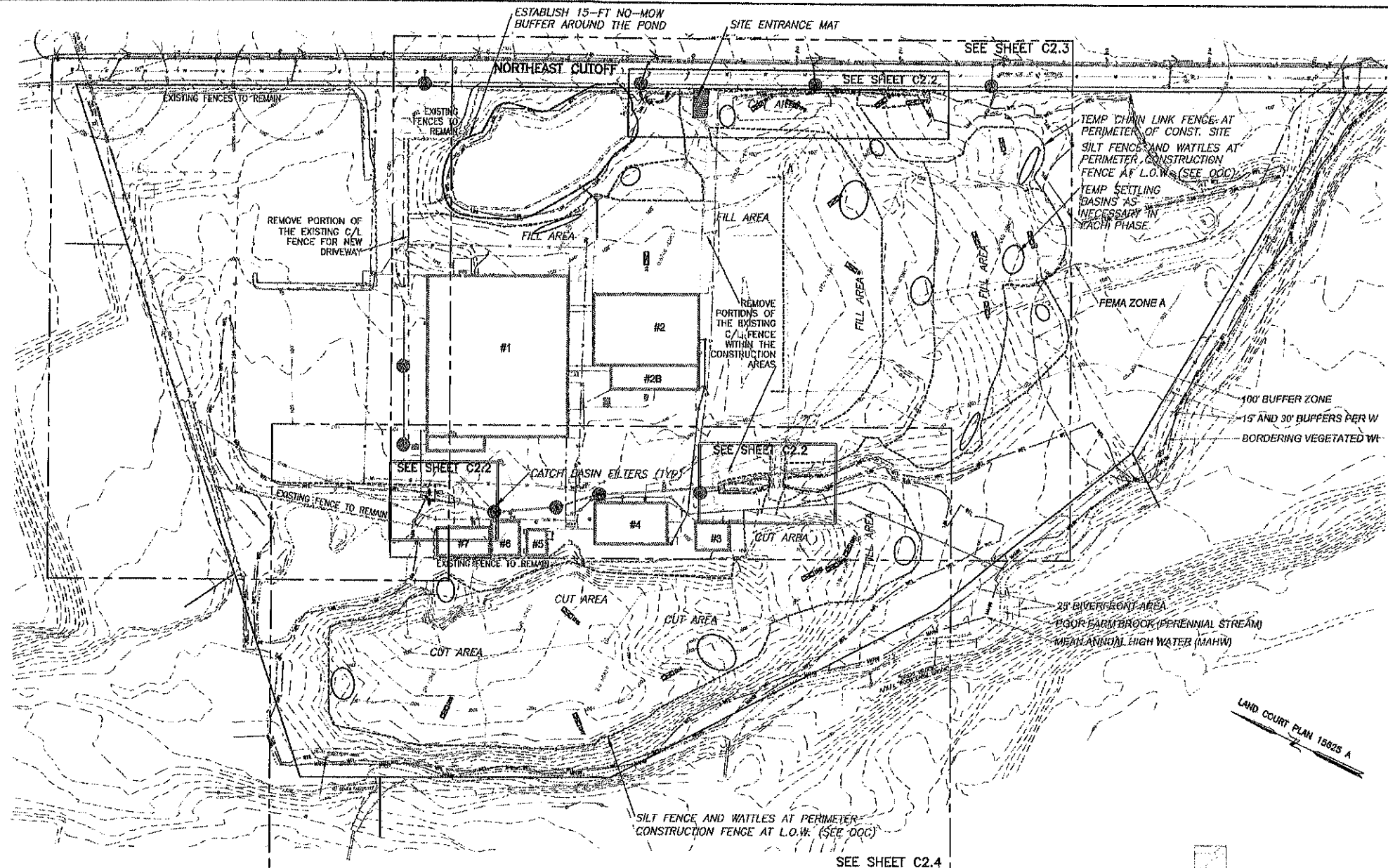
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 1105
 WORCESTER, MASS. 01605

ZONING DISTRICT: BG-2.0
 ZONING DISTRICT: RG-5

OVERLAY DISTRICT
 WATER RESOURCES PROTECTION
 (WR-GP-2)



- EROSION & SEDIMENTATION CONTROL MEASURES AND SEQUENCE:**
- USE GATED ENTRANCE DURING DEMOLITION AND CONSTRUCTION. PROVIDE SITE ENTRANCE MAT/TIRE SCRUBBER AT ALL EXITS TO PREVENT TRACKING OF SOIL ONTO PAVEMENTS.
 - PROVIDE TEMPORARY CHAIN LINK FENCE AT PERIMETER WHERE THERE IS NOT AN EXISTING FENCE AND MAINTAIN THROUGHOUT SITE CONSTRUCTION PERIOD.
 - INSTALL SILT FENCE AND WATTLES AT PERIMETER OF EACH PHASE AND TRAVEL ROUTE PRIOR TO ANY EARTH WORK IN THAT PHASE.
 - INSTALL CATCH BASIN FILTERS ON ALL SITE INLETS AND DOWNSTREAM CATCH BASINS PRIOR TO ANY DEMOLITION OR EARTH WORK.
 - CLEARING AND GRUBBING TO LIMITS OF WORK IN EACH PHASE. MAINTAIN AND REPLACE PERIMETER CONTROLS AS NECESSARY.
 - PROVIDE TEMPORARY SETTLING BASINS AND DIVERSIONS IN EACH PHASE TO CONVEY CONSTRUCTION PERIOD RUNOFF INTO THEM.
 - EXCAVATION AND CONSTRUCTION OF PERIMETER RETAINING WALLS, STORMWATER AND FLOOD STORAGE SYSTEMS. BEGIN EARTH MOVING AND COMPACTION OF FILL.
 - IN FILL AREAS, PLACE FILL AT THE PERIMETER OF THE FILL SECTION FIRST AND WORK INTO THE CENTER IN ORDER TO FORM A DIKE AND DEPRESSION TO CONTROL RUNOFF.
 - COVER ALL STOCKPILES AND PROTECT THEM WITH SILT FENCES AROUND THE OUTSIDE.
 - AT ALL TIMES, PREVENT THE DISCHARGE OF ANY SILT LADEN STORMWATER INTO WETLAND RESOURCE AREAS AND PUBLIC WAYS.
 - INSTALLATION OF UTILITIES, SITE DRAINAGE, AND CONTINUE MOVING OF FILL.
 - PREPARATION OF SUBGRADE IN PAVED AREAS.
 - INSTALLATION OF CURBS, WALKS, LIGHTING.
 - BASE COURSE OF PAVEMENT, PERMANENT FENCING, IMPORT TOPSOIL FOR LANDSCAPED AREAS.
 - LANDSCAPING AND SEEDING.
 - PROVIDE TEMPORARY STABILIZATION OF ALL EXPOSED SOILS WITHIN 14 DAYS.
 - TOP COURSE OF PAVEMENT, SIGNS AND MARKINGS.
 - SEE THE CONSTRUCTION PERIOD O&M PLAN. REGULARLY INSPECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS. O&M AND INSPECTION FORMS ARE PROVIDED IN THE STORMWATER REPORT.
 - SEE THE ACCOMPANYING POLLUTION PREVENTION PLAN FOR MORE SPECIFIC INFORMATION.
 - APPLY WATER TO CONTROL DUST AT ALL TIMES. USE OF HYDRANT REQUIRES A PERMIT FROM WOPW.

KEY

---	BROOK OR POND HIGH WATER LINE
---	28' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
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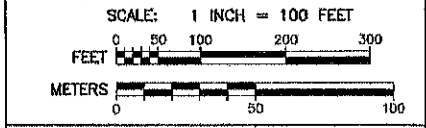


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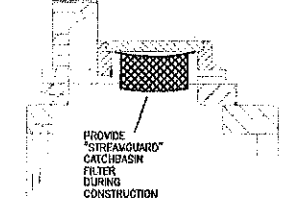
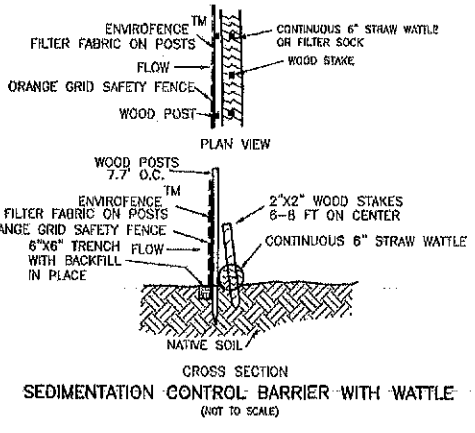
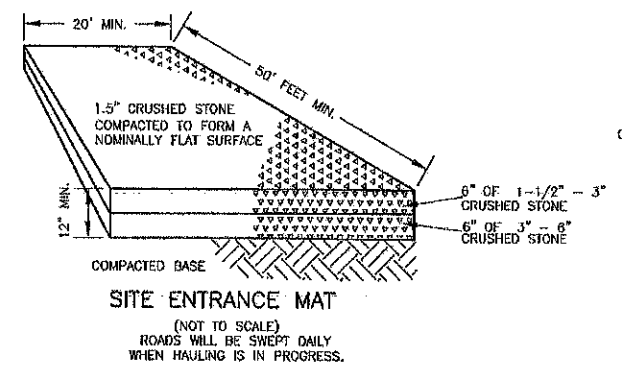
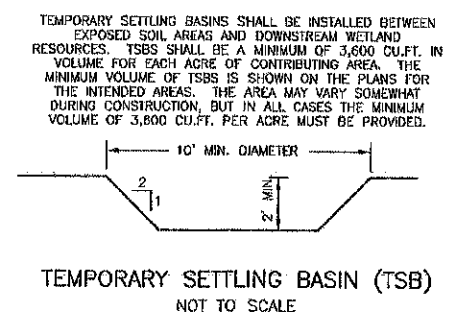
CLT. NO. 1032 JOB NO. 348-3261

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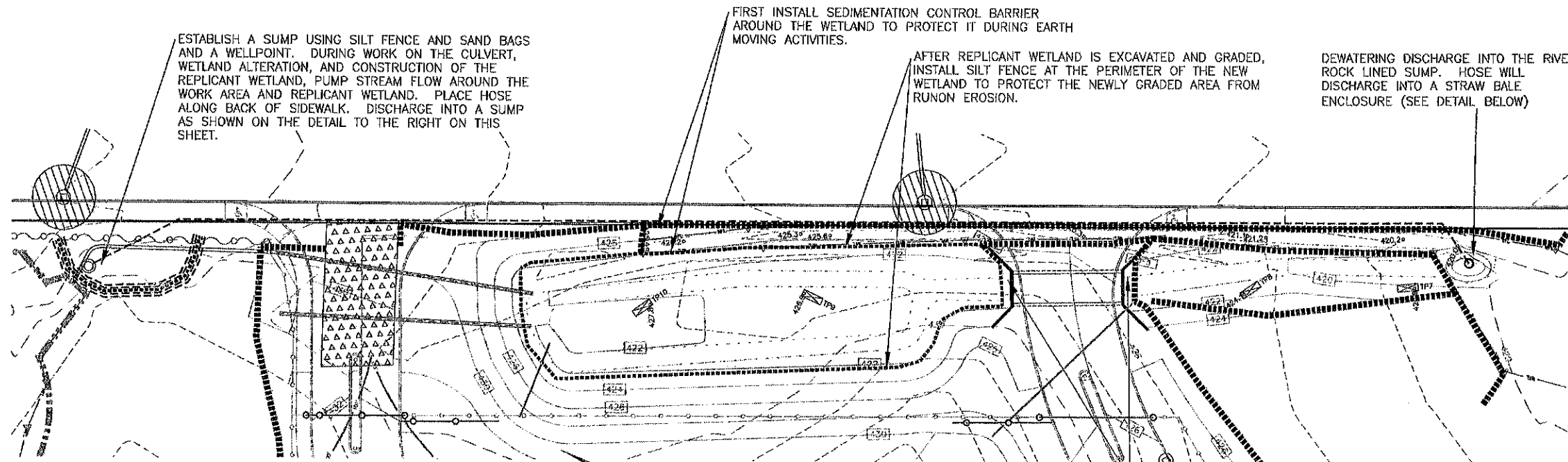
DATE	REVISIONS DESCRIPTION
2/10/2020	UPDATED FOR NOTICE OF INTENT FILING
8/10/2020	REVISION AND RESPOND TO STAFF COMMENTS
9/25/2020	REVISION AND RESPOND TO STAFF COMMENTS
10/18/2020	UPDATE FOR CONSERVATION COMMENTS
1/4/2021	CONDITIONS OF APPROVAL



DEFINITIVE SITE PLAN OF LAND AT
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 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE LLO5
 WORCESTER, MASS. 01805



DIG SAFE:
 EXCEPT FOR VISIBLE STRUCTURES (MANHOLES, GATES, POLES, ETC.) LOCATED BY THOMPSON-LISTON ASSOCIATES, INC., ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. ACTUAL LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING OR INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION, OR REPAIRING. ALL UTILITY COMPANIES, PUBLIC & PRIVATE, MUST BE CONTACTED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN.
 THOMPSON-LISTON ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. CALL "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) BY CALLING 811 OR BY OTHER ALLOWED MEANS.



PLAN VIEW OF WETLAND REPLICATION AREA 1
SCALE 1"=20'±

ESTABLISH A SUMP USING SILT FENCE AND SAND BAGS AND A WELLPOINT. DURING WORK ON THE CULVERT, WETLAND ALTERATION, AND CONSTRUCTION OF THE REPLICANT WETLAND, PUMP STREAM FLOW AROUND THE WORK AREA AND REPLICANT WETLAND. PLACE HOSE ALONG BACK OF SIDEWALK. DISCHARGE INTO A SUMP AS SHOWN ON THE DETAIL TO THE RIGHT ON THIS SHEET.

FIRST INSTALL SEDIMENTATION CONTROL BARRIER AROUND THE WETLAND TO PROTECT IT DURING EARTH MOVING ACTIVITIES.

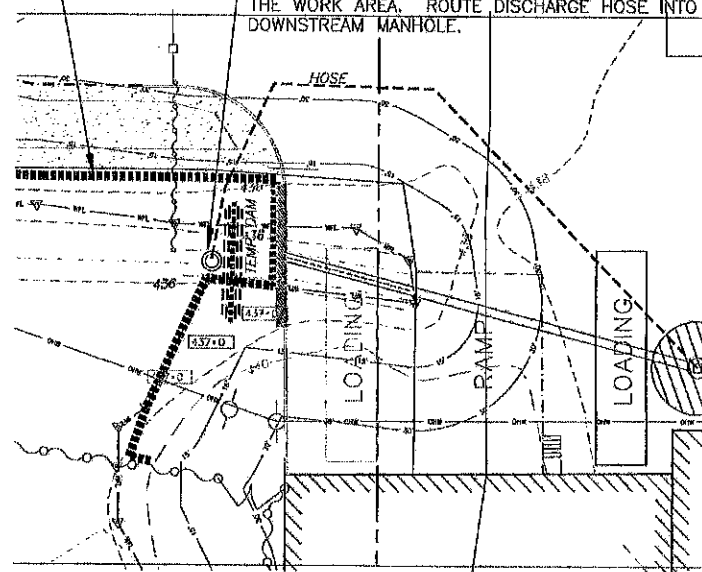
AFTER REPLICANT WETLAND IS EXCAVATED AND GRADED, INSTALL SILT FENCE AT THE PERIMETER OF THE NEW WETLAND TO PROTECT THE NEWLY GRADED AREA FROM RUNON EROSION.

DEWATERING DISCHARGE INTO THE RIVER ROCK LINED SUMP. HOSE WILL DISCHARGE INTO A STRAW BALE ENCLOSURE (SEE DETAIL BELOW)

INSTALL SEDIMENTATION CONTROL BARRIER IN THIS AREA TO PREVENT MIGRATION OF ANY SILT FROM THE CULVERT AND ROAD FILL SECTION. IMMEDIATELY STABILIZE THE SLOPES OF THE FILL SECTION.

INSTALL SEDIMENTATION CONTROL BARRIER AT THE LIMIT OF THE REPLICANT WETLAND AND AT LIMIT OF FILL SECTION.

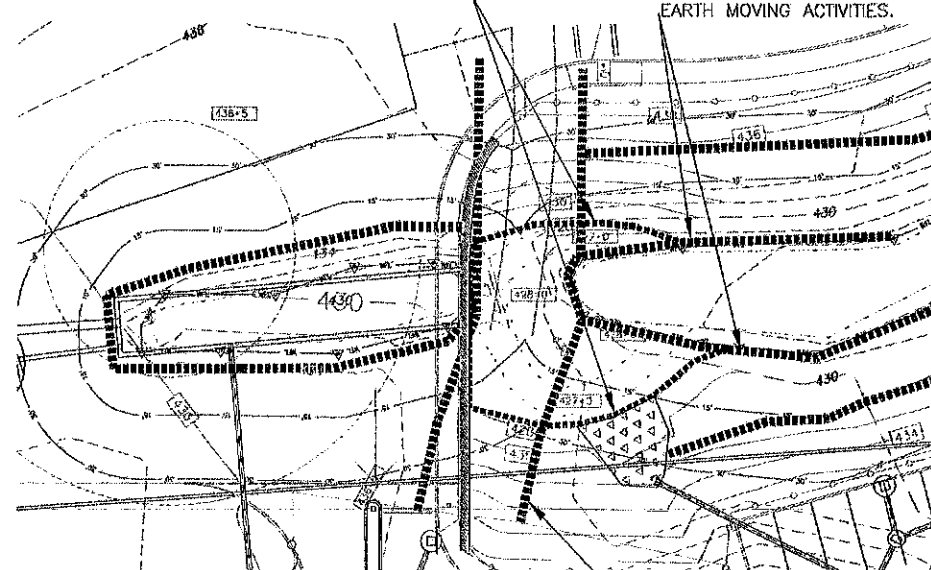
ESTABLISH A SUMP USING A TEMPORARY DAM CONSTRUCTED WITH SAND BAGS AND A WELLPOINT. DURING WORK TO INSTALL THE CULVERT AND WETLAND ALTERATION, PUMP STREAM FLOW AROUND THE WORK AREA. ROUTE DISCHARGE HOSE INTO THE DOWNSTREAM MANHOLE.



PLAN VIEW OF WETLAND REPLICATION AREA 2
SCALE 1"=20'±

AFTER REPLICANT WETLAND IS EXCAVATED AND GRADED, INSTALL SILT FENCE AT THE PERIMETER OF THE NEW WETLAND TO PROTECT THE NEWLY GRADED AREA FROM RUNON EROSION.

FIRST INSTALL SEDIMENTATION CONTROL BARRIER AROUND THE WETLAND TO PROTECT IT DURING EARTH MOVING ACTIVITIES.

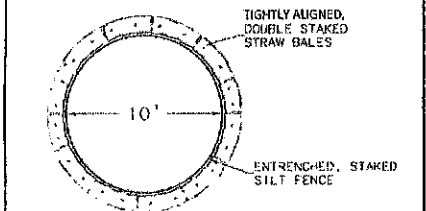
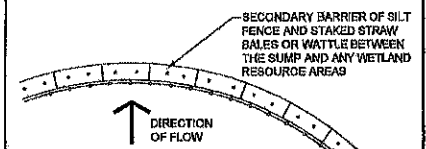


PLAN VIEW OF WETLAND REPLICATION AREA 3
SCALE 1"=20'±

INSTALL SEDIMENTATION CONTROL BARRIER BETWEEN TREE CLEARING HAUL ROAD AND WETLAND RESOURCE AREAS DURING CLEARING AND GRUBBING AND EARTH MOVING ACTIVITIES

KEY

---	BROOK OR POND HIGH WATER LINE
---	25' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
---	DRAIN LINE
---	SEWER LINE
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	CATCHBASIN WITH HEADER
○	CATCHBASIN
---	FLARED END SECTION
---	WATER LINE
---	WATER GATE
---	WATER SHUT OFF
---	HYDRANT
---	GAS LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS BERM
---	GRANITE CURB
---	GRANITE MONUMENT
---	CONCRETE MONUMENT
---	OVERHEAD WIRE
---	UTILITY POLE
---	CHAIN LINK FENCE
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	STONE WALL
---	TEST HOLE LOCATIONS



TYPICAL DETAIL OF ABOVE
GROUND SILT SUMP FOR DEWATERING
(N.T.S.)



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Professional Engineers, Professional Land Surveyors
Erosion Control Specialists
51 Main Street, Post Office Box 570, Boylston, MA 01505
Telephone: 508-669-6151 FAX: 508-669-6542

CLT. NO.	1032	JOB NO.	348-3261
DATE:	JANUARY 13, 2020	DWG. NO.	CHACHARONE ALLEGRO CURRENT
REVISIONS			
DATE:	DESCRIPTION		
2/10/2020	UPDATED FOR NOTICE OF INTENT FILING		
2/10/2020	ISSUED REPLICATION PLAN		
8/10/2020	REVISION AND RESPOND TO STAFF COMMENTS		
1/4/2021	CONDITIONS OF APPROVAL		

SCALE: AS NOTED

DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE L105
WORCESTER, MASS. 01605



SUBPHASE 1
 INSTALL SITE ENTRANCE MAT.
 CUT TREES AND REMOVE OBSTACLES FROM WITHIN LIMIT OF WORK.
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 ESTABLISH PERIMETER ERSC BARRIER IN FILL AREAS.
 BEGIN CUTTING BEHIND BUILDING 3 AND MOVING FILL TO LOWER LIMIT OF FILL FOLLOWING THE OLD ROAD.
 INSTALL TEMPORARY STABILIZATION TO OUTSIDE SLOPES.
 EXCAVATE AND STOCKPILE MATERIAL FROM WETLAND REPLICATION AREA.
 INSTALL CULVERTS HEADWALLS NEAR BUILDING 3
 BACKFILL AND FILL IN THESE AREAS AND STABILIZE.
 NEXT, ESTABLISH SUBGRADES FOR WETLAND REPLICATION AREAS AND WORK WITH WETLAND SCIENTIST TO PLACE ROCKS, LOGS, AND OTHER FEATURES
 PLACE TOPSOIL, PLANTS, AND SEED IF THE GROWING SEASON. IF NOT, PROVIDE ROLLED EROSION CONTROL PRODUCTS TO PROVIDE LONG TERM TEMPORARY STABILIZATION UNTIL LAST UNTIL THE GROWING SEASON.

--- KEY ---

	BROOK OR POND HIGH WATER LINE
	25' RIVERFRONT AREA
	MEAN ANNUAL HIGH WATER LINE
	BORDERING VEGETATED WETLAND
	16' CITY WETLAND BUFFER
	30' CITY WETLAND BUFFER
	100' BUFFER ZONE
	FEMA ZONE A LINE
	DRAIN LINE
	SEWER LINE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCHBASIN WITH HEADER
	CATCHBASIN
	FLARED END SECTION
	WATER LINE
	WATER GATE
	WATER SHUT OFF
	HYDRANT
	GAS LINE
	EDGE OF PAVEMENT
	BITUMINOUS BERM
	GRANITE CURB
	GRANITE MONUMENT
	CONCRETE MONUMENT
	OVERHEAD WIRES
	UTILITY POLE
	CHAIN LINK FENCE
	2' CONTOUR
	10' CONTOUR
	PROPOSED CONTOUR
	STONE WALL
	TEST HOLE LOCATIONS

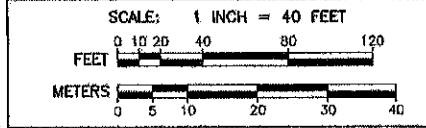


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 Erosion Control Specialists
 51 Main Street, Post Office Box 670, Boylston, MA 01605
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CLT. NO. 1032 JOB NO. 348-3261

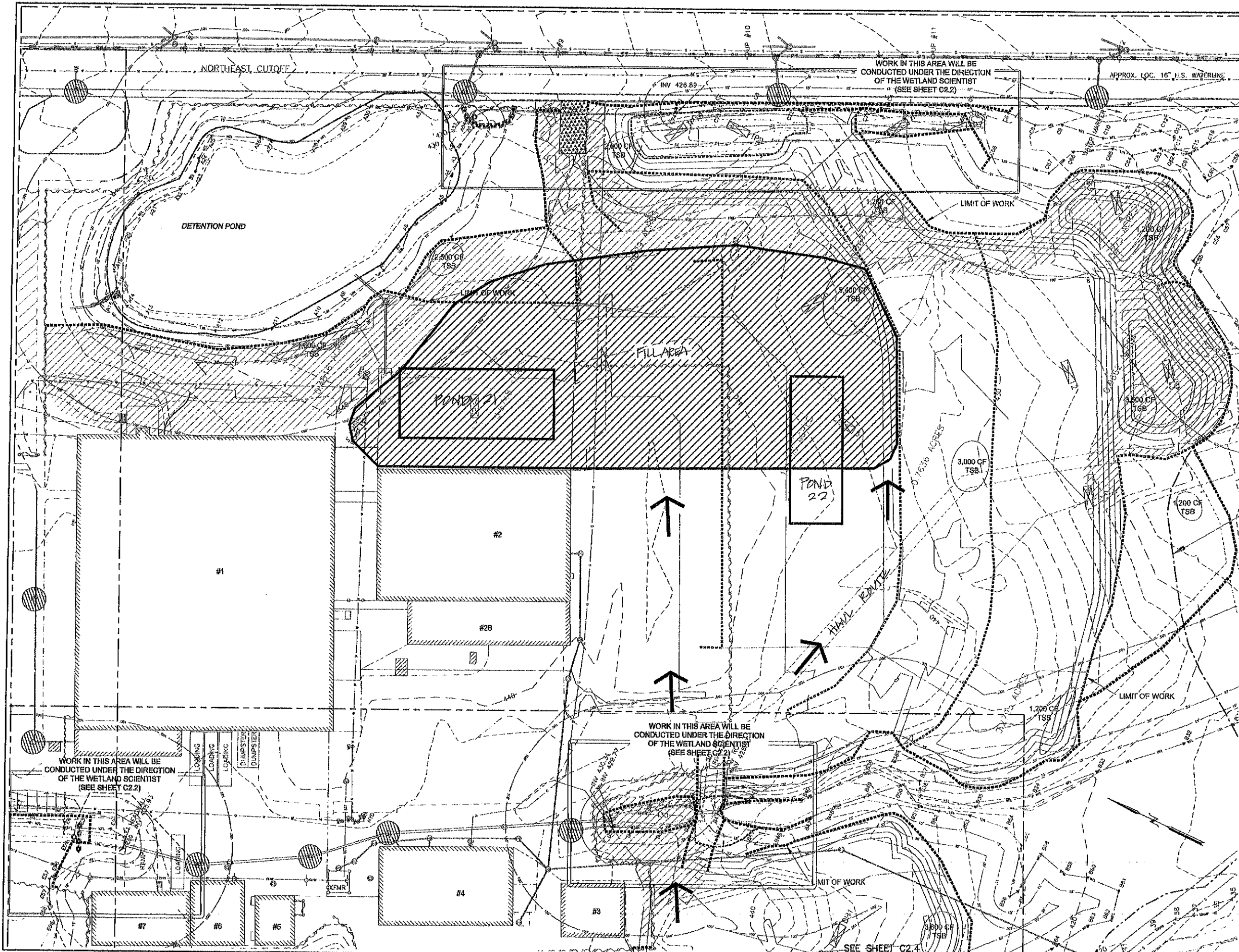
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8/10/2020	REVISION AND RESPOND TO STAFF COMMENTS
10/19/2020	UPDATE FOR CONSERVATION COMMENTS



DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 1105
 WORCESTER, MASS. 01605

EROSION & SEDIMENTATION CONTROL C2.3.1



SUBPHASE 2
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 EXPAND CUTTING BEHIND BUILDING 4 AND CONTINUE MOVING FILL TO THE PHASE 1 PARKING AREA.
 INSTALL SUBSURFACE PONDS 21 AND 22 WITHIN THE IDENTIFIED FILL AREA.
 INSTALL TEMPORARY STABILIZATION ON CUT AND FILL AREAS WHERE ELEVATION HAS REACHED SUBGRADE.

--- KEY ---

	BROOK OF POND HIGH WATER LINE
	25' RIVERFRONT AREA
	MEAN ANNUAL HIGH WATER LINE
	BOUNDING VEGETATED WETLAND
	15' CITY WETLAND BUFFER
	30' CITY WETLAND BUFFER
	100' BUFFER ZONE
	FEMA ZONE A LINE
	DRAIN LINE
	SEWER LINE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCHBASIN WITH HEADER
	CATCHBASIN
	FLARED END SECTION
	WATER LINE
	WATER GATE
	WATER SHUT OFF
	HYDRANT
	GAS LINE
	EDGE OF PAVEMENT
	EUTIMOUS BERM
	GRANITE CURB
	GRANITE MONUMENT
	CONCRETE MONUMENT
	OVERHEAD WIRES
	UTILITY POLE
	CHAIN LINK FENCE
	2' CONTOUR
	10' CONTOUR
	PROPOSED CONTOUR
	STONE WALL
	TEST HOLE LOCATIONS

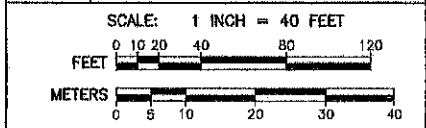


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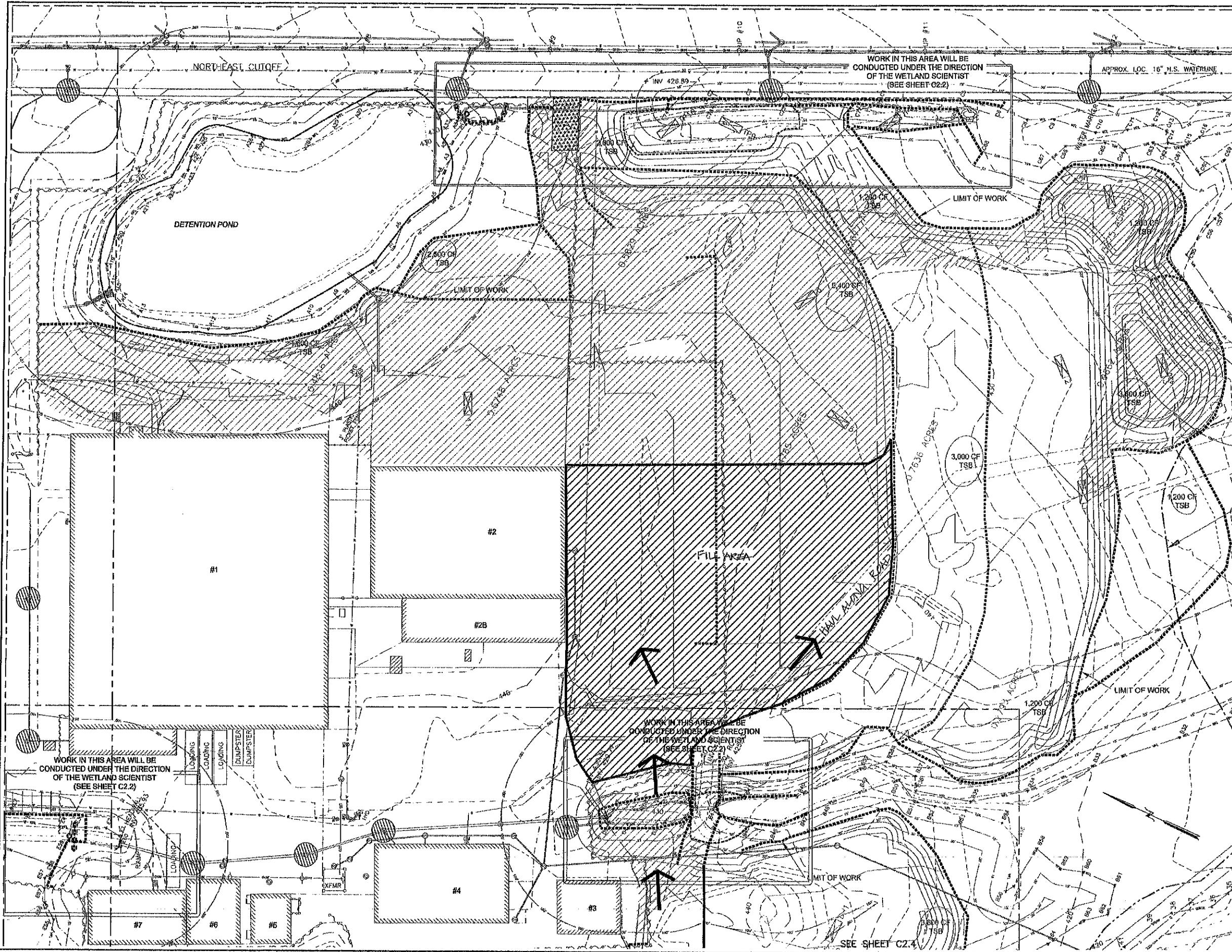
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 1L05
 WORCESTER, MASS. 01605

EROSION & SEDIMENTATION CONTROL C2.3.2



SUBPHASE 3
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 EXPAND CUTTING BEHIND BUILDING 5, 6, AND 7 AND CONTINUE MOVING FILL TO THE PHASE 1 PARKING AREA.
 INSTALL TEMPORARY STABILIZATION ON CUT AND FILL AREAS WHERE ELEVATION HAS REACHED SUBGRADE.
 PAVING OF PHASE 1 PARKING LOTS.

--- KEY ---

	BROOK OR POND HIGH WATER LINE
	25' RIVERFRONT AREA
	MEAN ANNUAL HIGH WATER LINE
	BORDERING VEGETATED WETLAND
	15' CITY WETLAND BUFFER
	30' CITY WETLAND BUFFER
	100' BUFFER ZONE
	FEMA ZONE A LINE
	DRAIN LINE
	SEWER LINE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCHBASIN WITH HEADER
	FLARED END SECTION
	WATER LINE
	WATER GATE
	WATER SHUT OFF
	HYDRANT
	GAS LINE
	EDGE OF PAVEMENT
	BITUMINOUS BERM
	GRANITE CURB
	GRANITE MONUMENT
	CONCRETE MONUMENT
	OVERHEAD WIRES
	UTILITY POLE
	CHAIN LINK FENCE
	2' CONTOUR
	10' CONTOUR
	PROPOSED CONTOUR
	STONE WALL
	TEST HOLE LOCATIONS

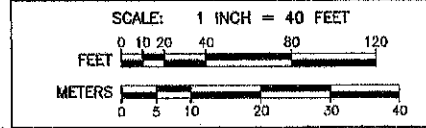


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 51 Main Street, Post Office Box 570, Boylston, MA 01525
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CLT. NO. 1032 JOB NO. 348-3261

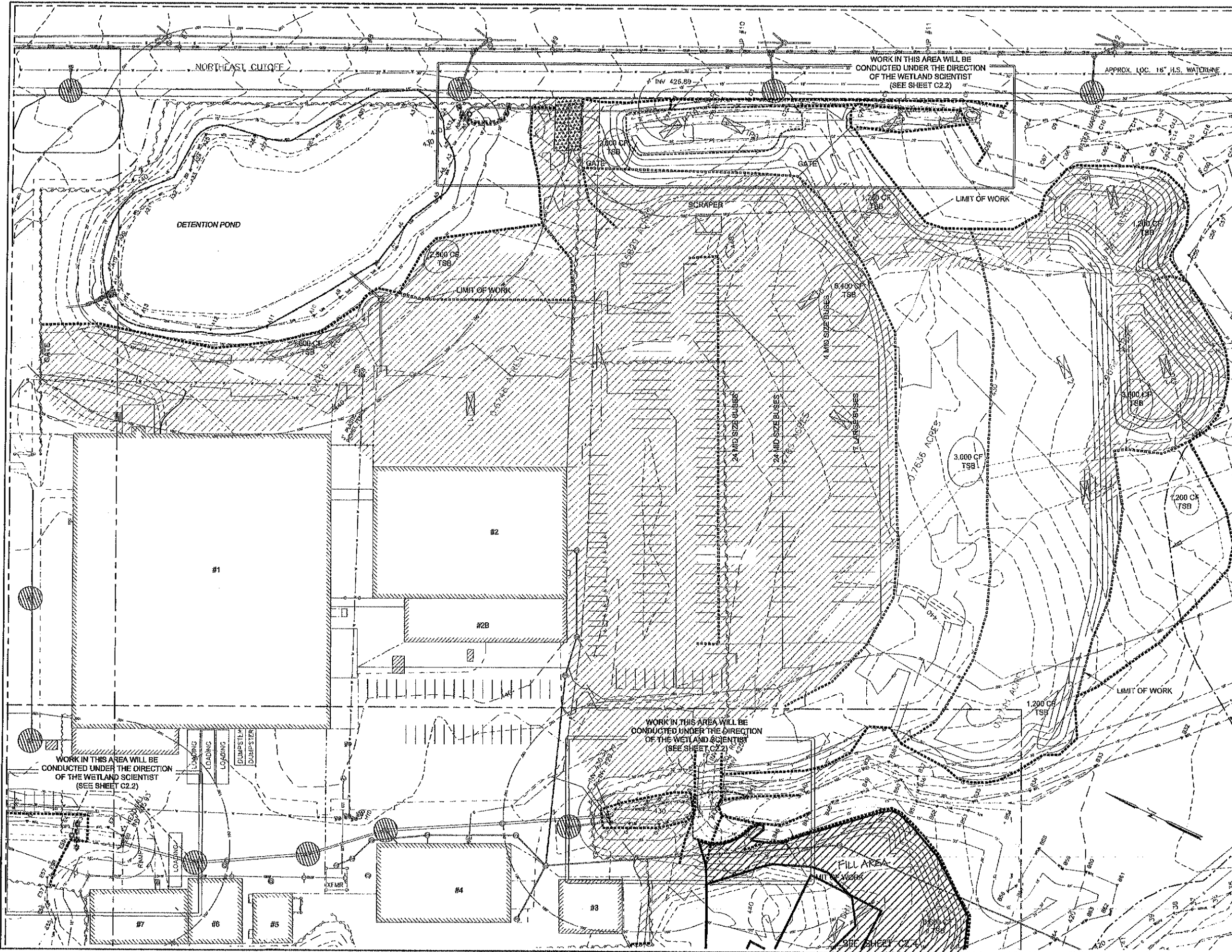
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE LL05
 WORCESTER, MASS. 01605

EROSION & SEDIMENTATION CONTROL C2.3.3



SUBPHASE 4
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 CUTTING AND FILLING IN THE SMALL PHASE 2 LOT SOUTH OF BUILDING #3.
 INSTALL SUBSURFACE POND 26.
 INSTALL TEMPORARY STABILIZATION ON CUT AND FILL AREAS WHERE ELEVATION HAS REACHED SUBGRADE.

--- KEY ---

---	BROOK OR POND HIGH WATER LINE
---	25' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
---	DRAIN LINE
---	SEWER LINE
---	SEWER MANHOLE
---	DRAIN MANHOLE
---	CATCHBASIN WITH HEADER
---	CATCHBASIN
---	FLARED END SECTION
---	WATER LINE
---	WATER GATE
---	WATER SHUT OFF
---	HYDRANT
---	GAS LINE
---	EDGE OF PAVEMENT
---	SILTMOUND BERM
---	GRANITE CURB
---	GRANITE MONUMENT
---	CONCRETE MONUMENT
---	OVERHEAD WIRES
---	UTILITY POLE
---	CHAIN LINK FENCE
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	STONE WALL
---	TEST HOLE LOCATIONS

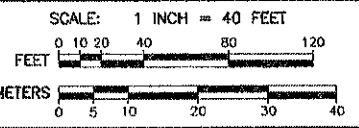


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CLT. NO. 1032 JOB NO. 348-3261

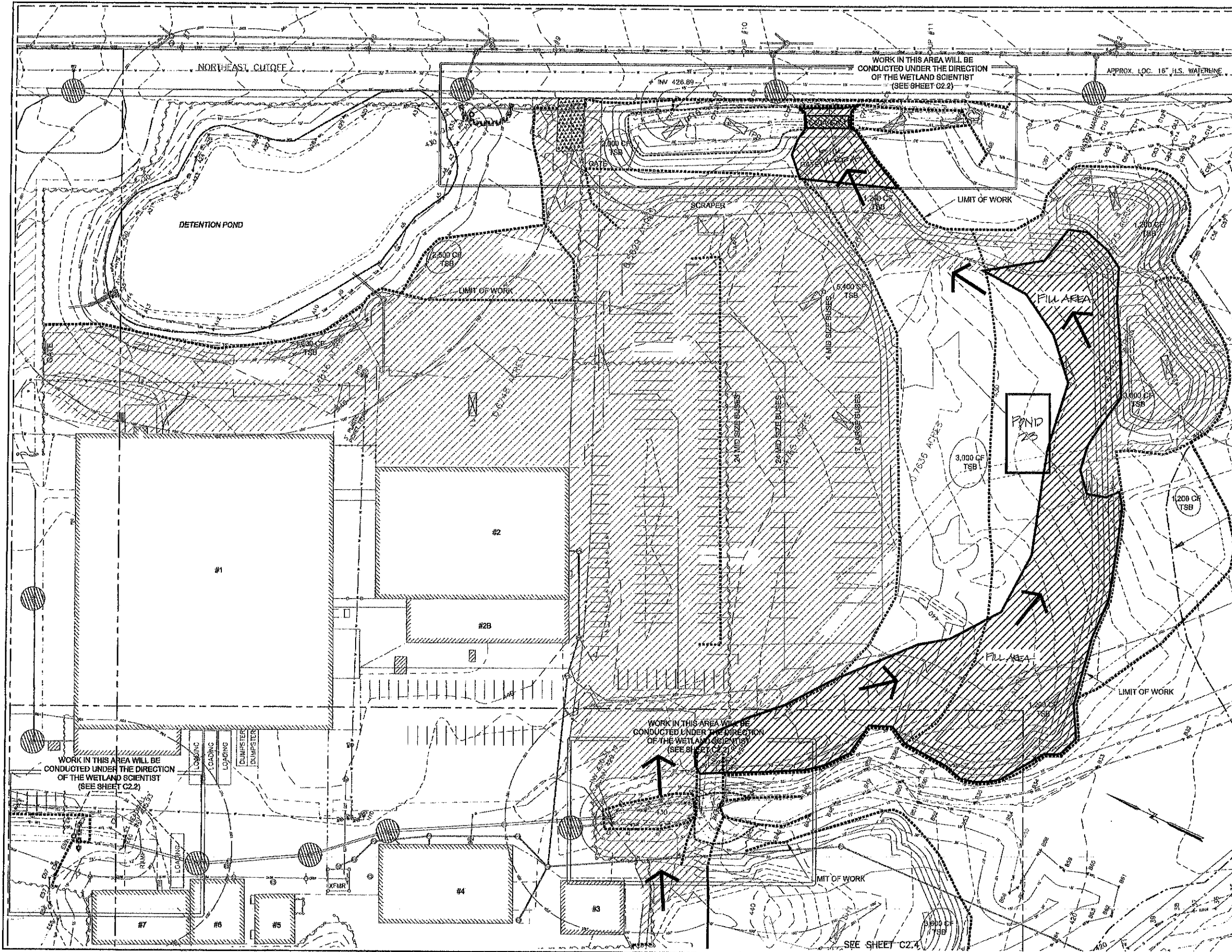
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 1L05
 WORCESTER, MASS. 01605

EROSION & SEDIMENTATION CONTROL C2.3.4



SUBPHASE 5
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 EXPAND CUTTING BEHIND BUILDING 5, 6, AND 7 AND MOVING FILL TO THE PHASE 1 PARKING AREA.
 INSTALL BOX CULVERT AT THE SOUTHERLY DRIVEWAY.
 INSTALL SUBSURFACE POND 23 ADJACENT TO THIS FILL AREA.
 INSTALL TEMPORARY STABILIZATION ON CUT AND FILL AREAS WHERE ELEVATION HAS REACHED SUBGRADE.

--- KEY ---

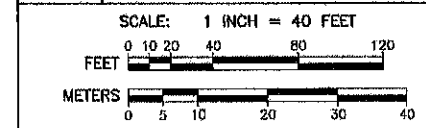
	BROOK OR POND HIGH WATER LINE
	25' RIVERFRONT AREA
	MEAN ANNUAL HIGH WATER LINE
	BORDERING VEGETATED WETLAND
	10' CITY WETLAND BUFFER
	30' CITY WETLAND BUFFER
	100' BUFFER ZONE
	FEMA ZONE A LINE
	DRAIN LINE
	SEWER LINE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCHBASIN WITH HEADER
	CATCHBASIN
	FLARED END SECTION
	WATER LINE
	WATER GATE
	WATER SHUT OFF
	HYDRANT
	GAS LINE
	EDGE OF PAVEMENT
	BITUMINOUS BERM
	GRANITE CURB
	GRANITE MONUMENT
	CONCRETE MONUMENT
	OVERHEAD WIRES
	UTILITY POLE
	CHAIN LINK FENCE
	2' CONTOUR
	10' CONTOUR
	PROPOSED CONTOUR
	STONE WALL
	TEST HOLE LOCATION



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 Erosion Control Specialists
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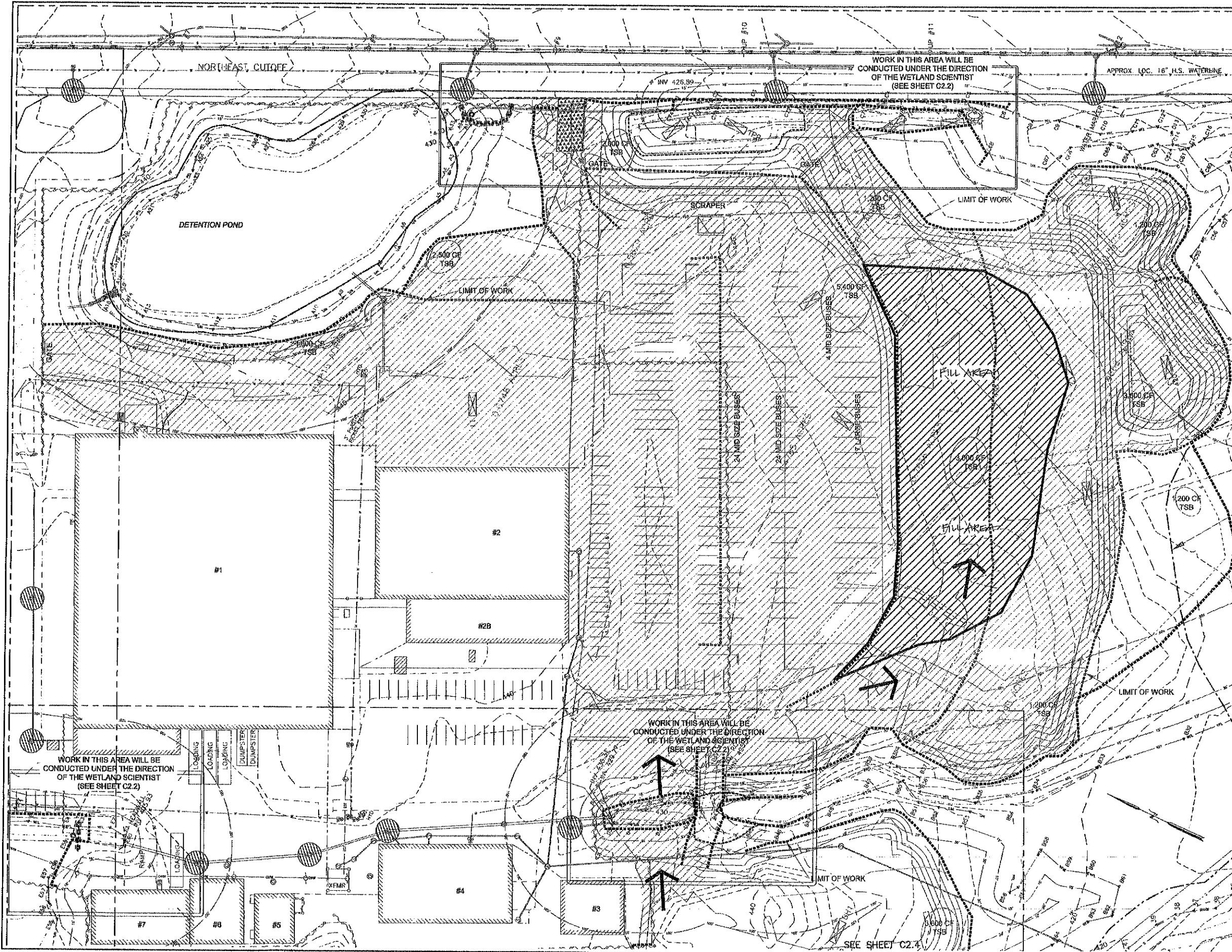
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DEFINITIVE SITE PLAN OF LAND AT
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 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 1105
 WORCESTER, MASS. 01605

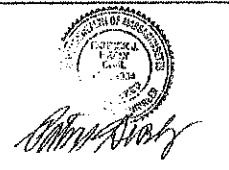
EROSION & SEDIMENTATION CONTROL C2.3.5



SUBPHASE 6
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 COMPLETION OF EARTH MOVING OPERATIONS TO THE PHASE 2 PARKING AREA.
 INSTALL PERMANENT STABILIZATION ON ALL CUT AND FILL AREAS.
 PAVING PHASE 2 PARKING LOTS.

--- KEY ---

---	BROOK OR POND HIGH WATER LINE
---	25' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
---	DRAIN LINE
---	SEWER LINE
---	SEWER MANHOLE
---	DRAIN MANHOLE
---	CATCHBASIN WITH HEADER
---	CATCHBASIN
---	FLARED END SECTION
---	WATER LINE
---	WATER GATE
---	WATER SHUT OFF
---	HYDRANT
---	GAS LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS BERM
---	GRANITE CURB
---	GRANITE MONUMENT
---	CONCRETE MONUMENT
---	OVERHEAD WIRES
---	UTILITY POLE
---	CHAIN LINK FENCE
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	STONE WALL
---	TEST HOLE LOCATIONS

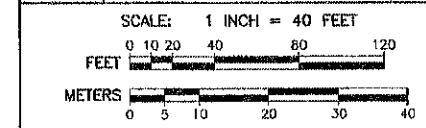


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 61 Main Street, Post Office Box 576, Boylston, MA 01305
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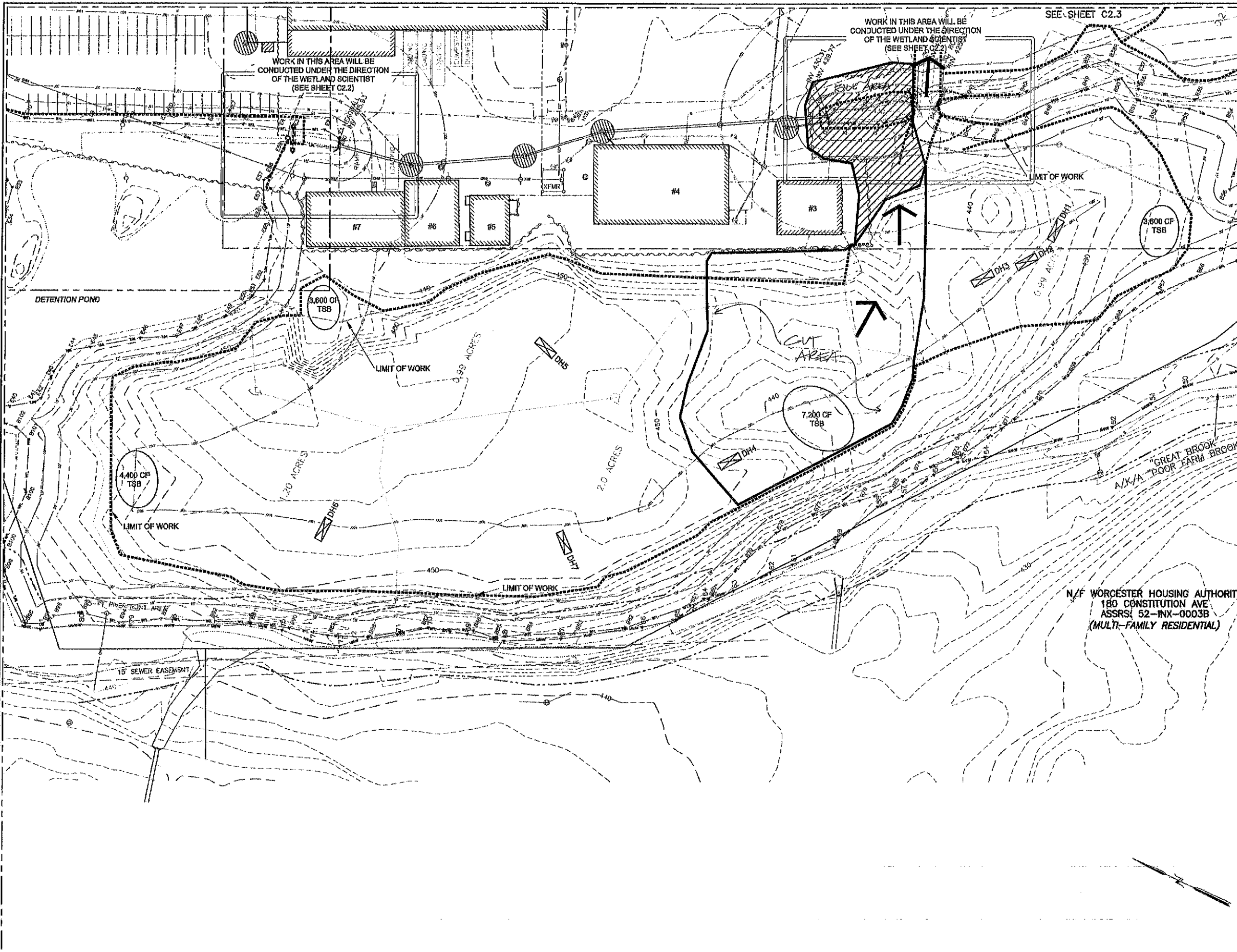
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 11.05
 WORCESTER, MASS. 01605

EROSION & SEDIMENTATION CONTROL C2.3.6

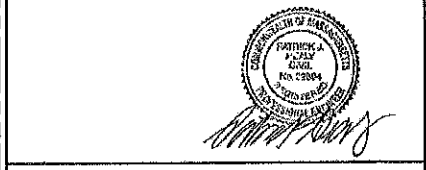


SUBPHASE 1
 INSTALL SITE ENTRANCE MAT.
 CUT TREES AND REMOVE OBSTACLES FROM WITHIN LIMIT OF WORK.
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 ESTABLISH PERIMETER ERSC BARRIER IN FILL AREAS.
 BEGIN CUTTING BEHIND BUILDING 3 AND MOVING FILL TO LOWER LIMIT OF FILL FOLLOWING THE OLD ROAD.
 INSTALL TEMPORARY STABILIZATION TO OUTSIDE SLOPES.
 EXCAVATE AND STOCKPILE MATERIAL FROM WETLAND REPLICATION AREA.
 INSTALL CULVERT AND HEADWALL NEAR BUILDING 3.
 BACKFILL THESE AREAS AND STABILIZE.
 NEXT, ESTABLISH SUBGRADES FOR WETLAND REPLICATION AREAS AND WORK WITH WETLAND SCIENTIST TO PLACE ROCKS, LOGS, AND OTHER FEATURES
 PLACE TOPSOIL, PLANTS, AND SEED IF THE GROWING SEASON. IF NOT, PROVIDE ROLLED EROSION CONTROL PRODUCTS TO PROVIDE LONG TERM TEMPORARY STABILIZATION UNTIL LAST UNTIL THE GROWING SEASON.

KEY

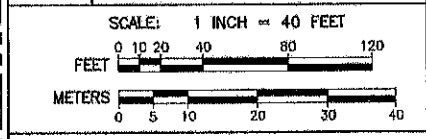
---	BROOK OR POND HIGH WATER LINE
---	25' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
---	DRAIN LINE
---	SEWER LINE
---	SEWER MANHOLE
---	DRAIN MANHOLE
---	CATCH-BASIN WITH HEADER
---	CATCH-BASIN
---	FLARED END SECTION
---	WATER LINE
---	WATER GATE
---	WATER SHUT OFF
---	HYDRANT
---	GAS LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS BERM
---	GRANITE CURB
---	CONCRETE MONUMENT
---	CONCRETE MONUMENT
---	OVERHEAD WIRES
---	UTILITY POLE
---	CHAIN LINK FENCE
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	STONE WALL
---	TEST HOLE LOCATIONS

N/F WORCESTER HOUSING AUTHORITY
 180 CONSTITUTION AVE
 ASSRS: 52-INX-0003B
 (MULTI-FAMILY RESIDENTIAL)

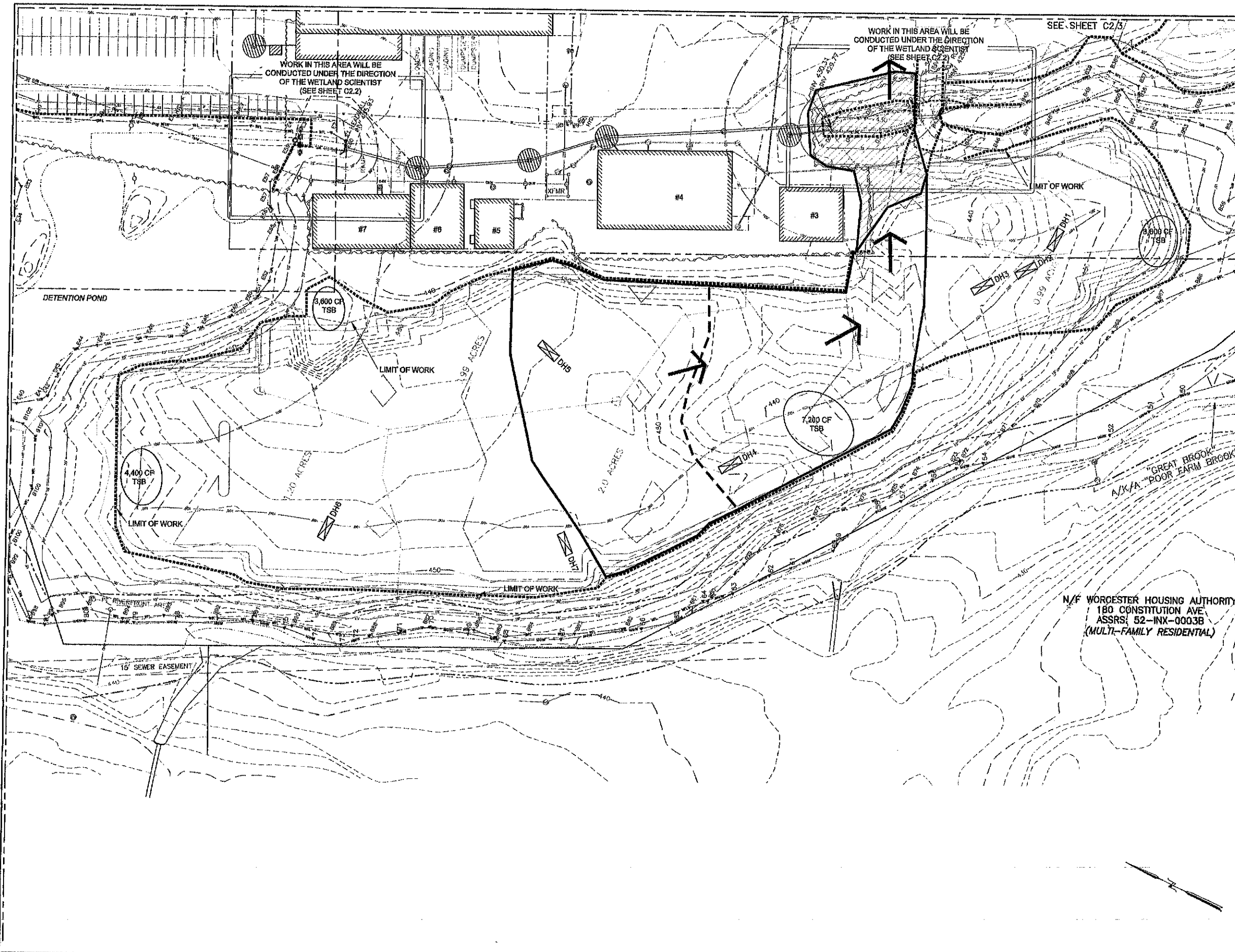


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 Boston Council Specialists
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DEFINITIVE SITE PLAN OF LAND AT
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 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE LLO5
 WORCESTER, MASS. 01605



SUBPHASE 2
GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
EXPAND CUTTING BEHIND BUILDING 4 AND CONTINUE MOVING FILL TO THE PHASE 1 PARKING AREA.
INSTALL SUBSURFACE PONDS 21 AND 22.
INSTALL TEMPORARY STABILIZATION ON CUT AND FILL AREAS WHERE ELEVATION HAS REACHED SUBGRADE.

KEY

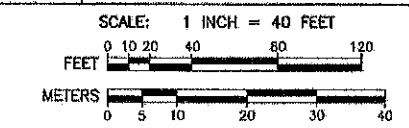
---	BROOK OR POND HIGH WATER LINE
---	25' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
---	DRAIN LINE
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	EXCHANGING WITH HEADER
○	CATCHBASIN
○	FLARED END SECTION
○	WATER LINE
○	WATER GATE
○	WATER SHUT OFF
○	FYDRANT
○	OS LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS BERM
---	GRANITE CURB
---	GRANITE MONUMENT
---	CONCRETE MONUMENT
---	CURBHEAD BARS
---	UTILITY POLE
---	CHAIN LINK FENCE
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	SIGNE WALL
---	TEST HOLE LOCATIONS



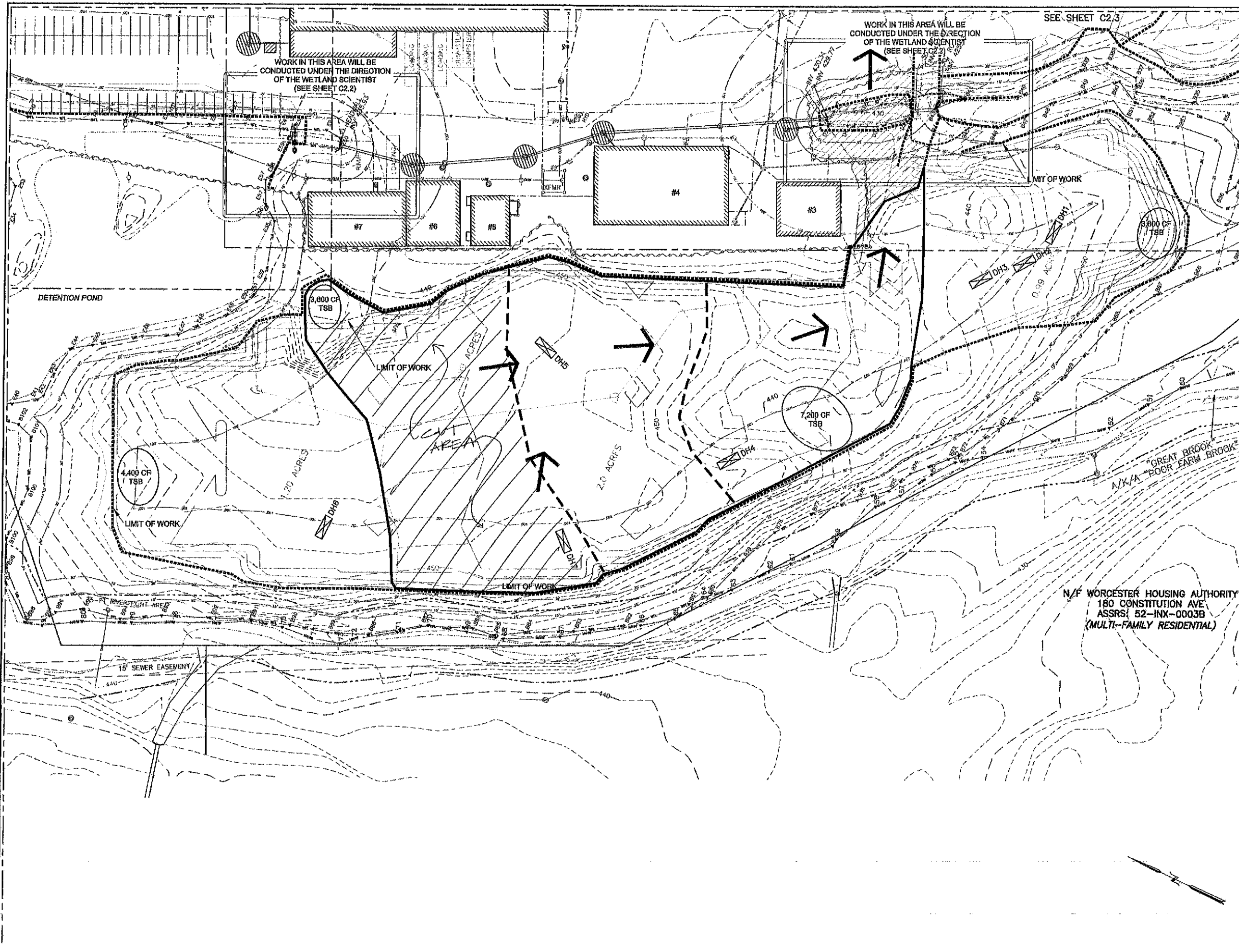
THOMPSON-LISTON ASSOCIATES, INC.
Professional Engineers, Professional Land Surveyors
Boston Coast & Specialist
51 Main Street, Post Office Box 570, Boylston, MA 01505
Telephone 508-869-6151 FAX 508-869-6342

CLT. NO.	1032	JOB NO.	348-3261
DATE:	JANUARY 13, 2020	DWG. NO.	CHACHARONE ALLEGRO CURRENT

REVISIONS	
DATE	DESCRIPTION
2/10/2020	UPDATED FOR NOTICE OF INTENT FILING
8/10/2020	REVISION AND RESPOND TO STAFF COMMENTS
10/19/2020	UPDATE FOR CONSERVATION COMMENTS



DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LL05
WORCESTER, MASS. 01605



SUBPHASE 3
GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
EXPAND CUTTING BEHIND BUILDING 5, 6 AND 7, AND CONTINUE MOVING FILL TO THE PHASE 2 PARKING AREA.
INSTALL TEMPORARY STABILIZATION ON CUT AND FILL AREAS WHERE ELEVATION HAS REACHED SUBGRADE.
PAVING OF PHASE1 PARKING LOTS.

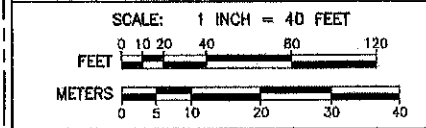
- KEY ---
- BROOK OR POND HIGH WATER LINE
 - 25' RIVERFRONT AREA
 - MEAN ANNUAL HIGH WATER LINE
 - BORDERING VEGETATED WETLAND
 - 15' CITY WETLAND BUFFER
 - 30' CITY WETLAND BUFFER
 - 100' BUFFER ZONE
 - FEMA ZONE A LINE
 - DRAIN LINE
 - SEWER LINE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCHBASIN WITH HEADER
 - CATCHBASIN
 - FLARED END SECTION
 - WATER LINE
 - WATER GATE
 - WATER SHUT OFF
 - HYDRANT
 - GAS LINE
 - EDGE OF PAVEMENT
 - STURMIUSUS BERM
 - GRANITE CURB
 - GRANITE MONUMENT
 - CONCRETE MONUMENT
 - OVERHEAD WIRES
 - UTILITY POLE
 - CHAIN LINK FENCE
 - 2' CONCRETE
 - 10' CONTOUR
 - PROPOSED CONTOUR
 - STONE WALL
 - TP7
 - TEST HOLE LOCATIONS

N/F WORCESTER HOUSING AUTHORITY
180 CONSTITUTION AVE
ASSRS: 52-INX-0003B
(MULTI-FAMILY RESIDENTIAL)

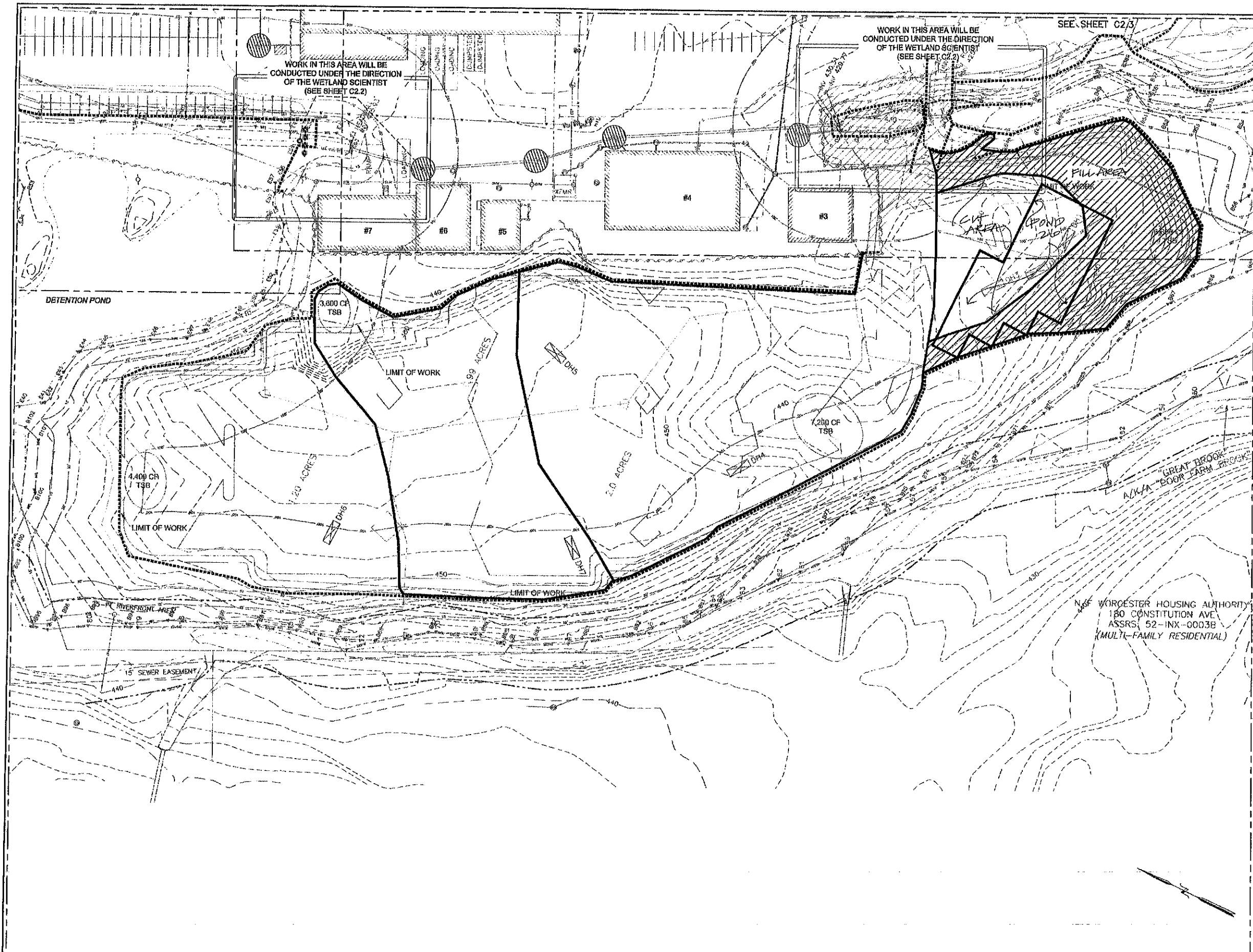


THOMPSON-LISTON ASSOCIATES, INC.
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Erosion Control Specialists
51 Main Street, Post Office Box 970, Boylston, MA 01505
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DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LL05
WORCESTER, MASS. 01605



WORK IN THIS AREA WILL BE CONDUCTED UNDER THE DIRECTION OF THE WETLAND SCIENTIST (SEE SHEET C2.2)

SEE SHEET C2.3

WORK IN THIS AREA WILL BE CONDUCTED UNDER THE DIRECTION OF THE WETLAND SCIENTIST (SEE SHEET C2.2)

SUBPHASE 4
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 EXPAND CUTTING AND FILLING TO THE SMALL PHASE 2 LOT SOUTH OF BUILDING #3.
 INSTALL TEMPORARY STABILIZATION ON CUT AND FILL AREAS WHERE ELEVATION HAS REACHED SUBGRADE.
 INSTALL SUBSURFACE DETENTION POND 26.

KEY

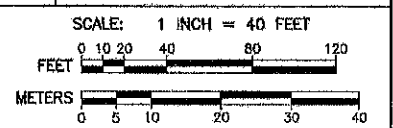
---	BROOK OR POND HIGH WATER LINE
---	25' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
---	DRAIN LINE
---	SEWER LINE
---	SEWER MANHOLE
---	DRAIN MANHOLE
---	CATCHBASIN WITH HEADER
---	CATCHBASIN
---	FLARED END SECTION
---	WATER LINE
---	WATER GATE
---	WATER SHUT OFF
---	HYDRANT
---	GAS LINE
---	EDGE OF PAVEMENT
---	BILUMINOUS BEAM
---	GRANITE CURB
---	GRANITE MONUMENT
---	CONCRETE MONUMENT
---	OVERHEAD WIRES
---	UTILITY POLE
---	CHAIN LINK FENCE
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	STONE WALL
---	TEST HOLE LOCATIONS



N&S WORCESTER HOUSING AUTHORITY
 180 CONSTITUTION AVE.
 ASSRS: 52-INX-0003B
 (MULTI-FAMILY RESIDENTIAL)

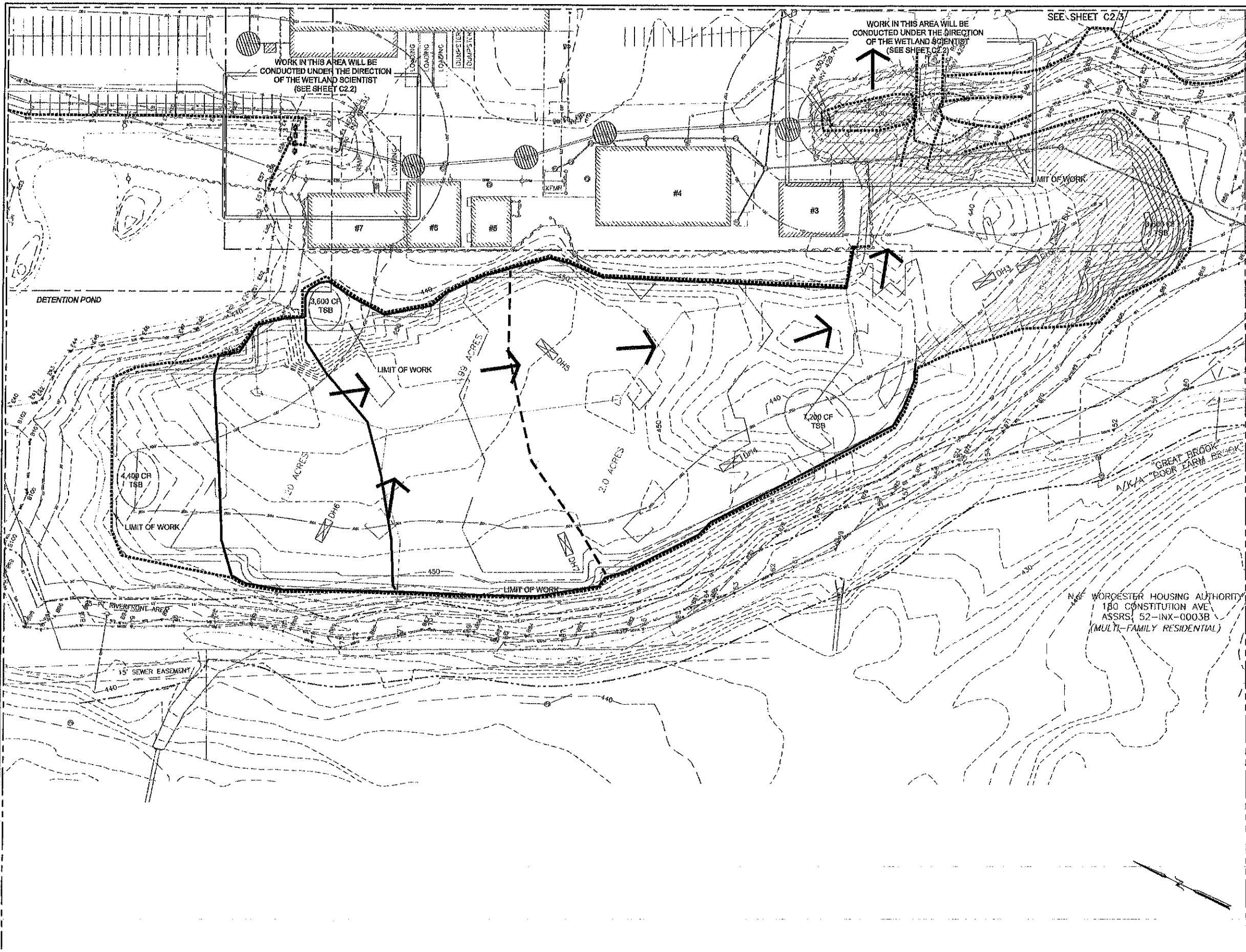
THOMPSON-LISTON ASSOCIATES, INC.
 Professional Engineers, Professional Land Surveyors
 Erosion Control Specialists
 51 Main Street, Post Office Box 570, Boylston, MA 01505
 Telephone: 508-863-6151 FAX: 508-863-6942

CLT. NO.	1032	JOB NO.	348-3281
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DATE:	DESCRIPTION		
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6/10/2020	REVISION AND RESPOND TO STAFF COMMENTS		
10/19/2020	UPDATE FOR CONSERVATION COMMENTS		



DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE L105
 WORCESTER, MASS. 01605

EROSION & SEDIMENTATION CONTROL C2.4.4



SUBPHASE 5

GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.

EXPAND CUTTING BEHIND BUILDING 5, 6, AND 7 AND MOVING FILL TO THE PHASE 1 PARKING AREA.

INSTALL BOX CULVERT AT THE SOUTHERLY DRIVEWAY.

INSTALL SUBSURFACE POND 23 ADJACENT TO THIS FILL AREA.

INSTALL TEMPORARY STABILIZATION ON CUT AND FILL AREAS WHERE ELEVATION HAS REACHED SUBGRADE.

- KEY ---
- BROOK OR POND HIGH WATER LINE
 - 25' RIVERFRONT AREA
 - MEAN ANNUAL HIGH WATER LINE
 - BORDERING VEGETATED WETLAND
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 - 30' CITY WETLAND BUFFER
 - 100' BUFFER ZONE
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 - SEWER MANHOLE
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 - CATCHBASIN
 - FLARED END SECTION
 - WATER LINE
 - WATER GATE
 - WATER SHUT OFF
 - HYDRANT
 - GAS LINE
 - EDGE OF PAVEMENT
 - REINFORCED CONCRETE
 - GRANITE CURB
 - GRANITE MONUMENT
 - CONCRETE MONUMENT
 - OVERHEAD WIRES
 - UTILITY POLE
 - CHAIN LINK FENCE
 - 2' CONTOUR
 - 10' CONTOUR
 - PROPOSED CONTOUR
 - STONE WALL
 - TP7 TEST HOLE LOCATIONS

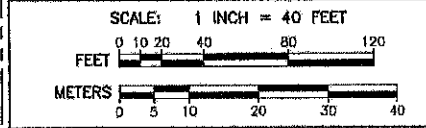


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51 Main Street, Post Office Box 570, Boylston, MA 01605
Telephone 908-869-6151 FAX 908-869-8842

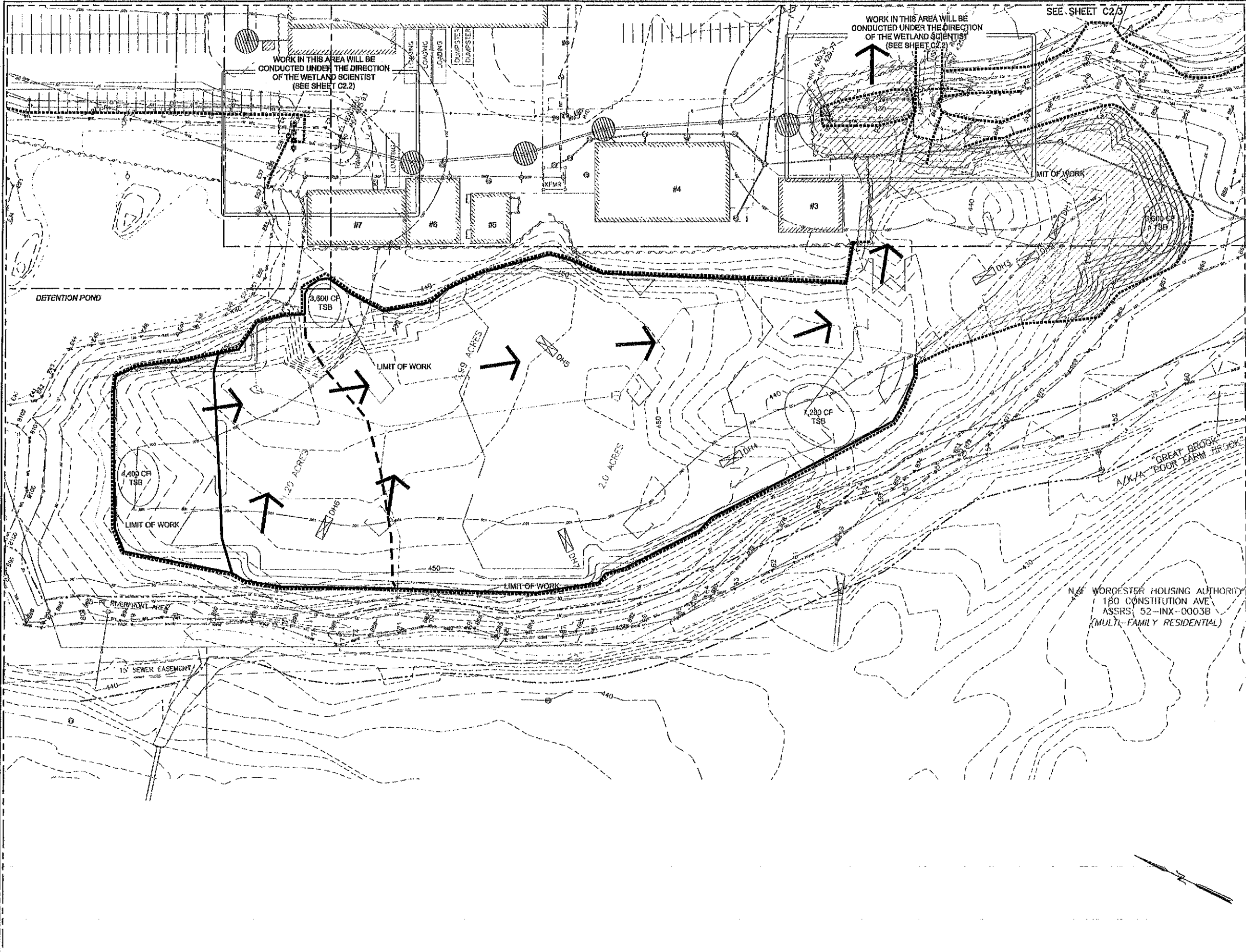
CLT. NO. 1032 JOB NO. 348-3261

DATE: JANUARY 13, 2020 DWG. NO. CHACHARONE ALLEGRO CURRENT

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WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LL05
WORCESTER, MASS. 01605



SEE SHEET C2.3

WORK IN THIS AREA WILL BE CONDUCTED UNDER THE DIRECTION OF THE WETLAND SCIENTIST (SEE SHEET C2.2)

WORK IN THIS AREA WILL BE CONDUCTED UNDER THE DIRECTION OF THE WETLAND SCIENTIST (SEE SHEET C2.2)

SUBPHASE 6
 GRUB AND REMOVE STUMPS AND TOPSOIL ONLY IN SUBPHASE AREA.
 COMPLETION OF EARTH MOVING OPERATIONS TO THE PHASE 2 PARKING AREA.
 INSTALL PERMANENT STABILIZATION ON ALL CUT AND FILL AREAS.
 PAVING PHASE 2 PARKING LOTS.

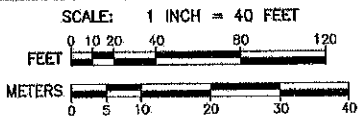
- KEY
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 - 25' RIVERFRONT AREA
 - MEAN ANNUAL HIGH WATER LINE
 - BORDERING VEGETATED WETLAND
 - 15' CITY WETLAND BUFFER
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 - WATER LINE
 - WATER DATE
 - WATER SHUT OFF
 - HYDRANT
 - GAS LINE
 - EDGE OF PAVEMENT
 - BITUMINOUS BERM
 - GRANITE CURB
 - GRANITE MONUMENT
 - CONCRETE MONUMENT
 - OVERHEAD WERKS
 - UTILITY POLE
 - CHAIN LINK FENCE
 - 2' CONTOUR
 - 10' CONTOUR
 - PROPOSED CONTOUR
 - STONE WALL
 - TEST HOLE LOCATIONS

NAT WORCESTER HOUSING AUTHORITY
 180 CONSTITUTION AVE
 ASSRS: 52-INX-0003B
 (MULTI-FAMILY RESIDENTIAL)



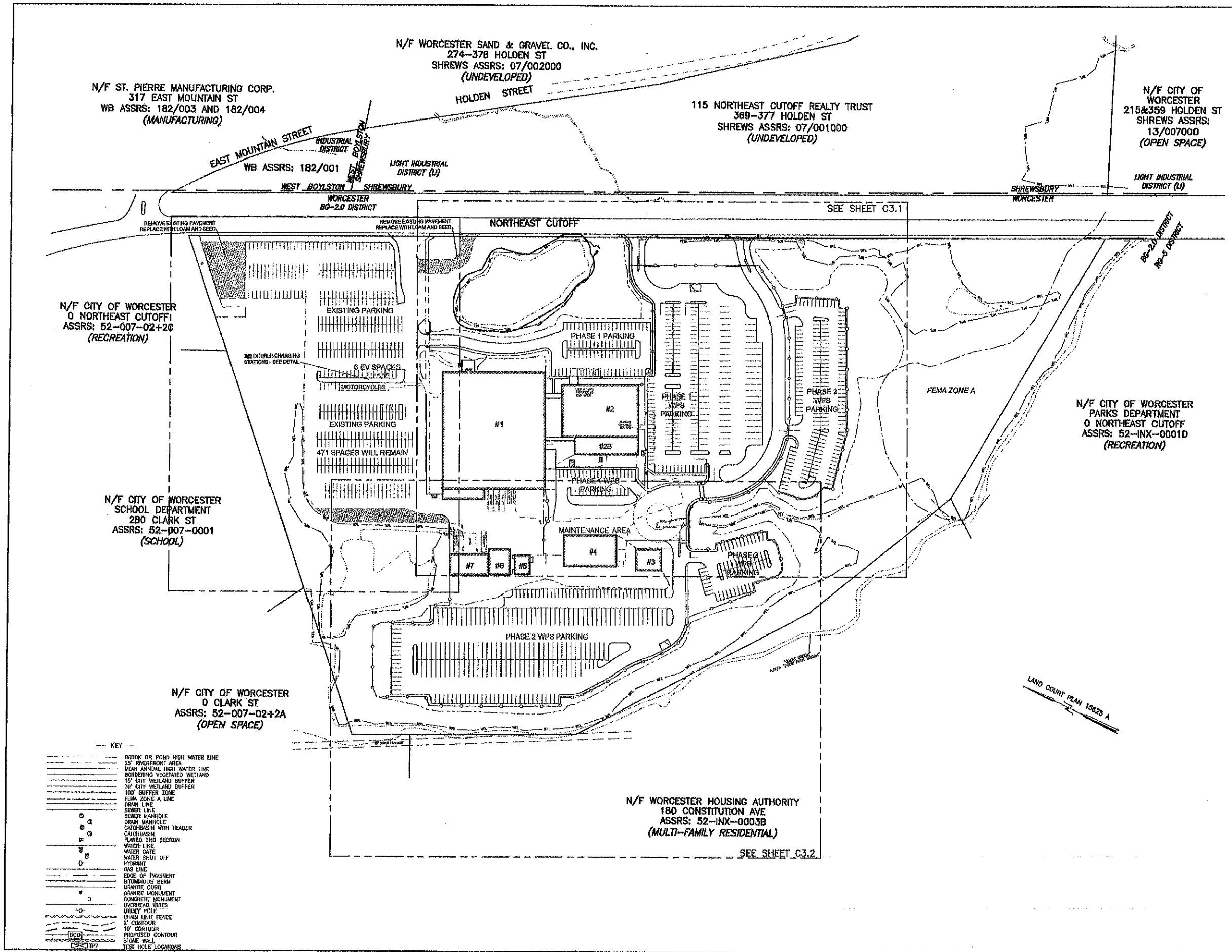
THOMPSON-LISTON ASSOCIATES, INC.
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 11.05
 WORCESTER, MASS. 01605

EROSION & SEDIMENTATION CONTROL C2.4.8



N/F ST. PIERRE MANUFACTURING CORP.
317 EAST MOUNTAIN ST
WB ASSRS: 182/003 AND 182/004
(MANUFACTURING)

N/F WORCESTER SAND & GRAVEL CO., INC.
274-378 HOLDEN ST
SHREWS ASSRS: 07/002000
(UNDEVELOPED)

115 NORTHEAST CUTOFF REALTY TRUST
369-377 HOLDEN ST
SHREWS ASSRS: 07/001000
(UNDEVELOPED)

N/F CITY OF WORCESTER
215&359 HOLDEN ST
SHREWS ASSRS:
13/007000
(OPEN SPACE)

N/F CITY OF WORCESTER
0 NORTHEAST CUTOFF
ASSRS: 52-007-02+26
(RECREATION)

N/F CITY OF WORCESTER
SCHOOL DEPARTMENT
280 CLARK ST
ASSRS: 52-007-0001
(SCHOOL)

N/F CITY OF WORCESTER
0 CLARK ST
ASSRS: 52-007-02+2A
(OPEN SPACE)

N/F WORCESTER HOUSING AUTHORITY
180 CONSTITUTION AVE
ASSRS: 52-INX-0003B
(MULTI-FAMILY RESIDENTIAL)

- KEY ---
- BROOK OR POND HIGH WATER LINE
 - 25' BUFFER FRONT AREA
 - MEAN ANNUAL HIGH WATER LINE
 - BORDERING VEGETATED WETLAND
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 - FEMA ZONE A LINE
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 - UTILITY POLE
 - CHAIN LINK FENCE
 - 2' CONTOUR
 - 10' CONTOUR
 - PROPOSED CONTOUR
 - STONE WALL
 - TEST HOLE LOCATIONS

ZONING COMPLIANCE TABLE:
ZONING DISTRICT: B0-2.0, WATER RESOURCES PROTECTION OVERLAY DISTRICT GP-2 (WRPOD)

LOT AREA	REQUIRED OR ALLOWED	PROVIDED
1,748,458 S.F.	N/A	1,748,458 S.F.
2,162.04'	N/A	2,162.04'
287'	N/A	287'
332'	N/A	332'
245'	N/A	245'
2 STORY	N/A	2 STORY
45'±	N/A	45'±
0.12:1	2:1 MAX	0.12:1

PROPOSED USES:
 BUILDING 1 - OFFICE
 BUILDING 2 - 2ND FLOOR OF BUILDING 2 - OFFICE
 1ST FLOOR OF BUILDING 2 FOR WORCESTER PUBLIC SCHOOLS TRANSPORTATION AND FACILITIES, INCLUDING DRIVER TRAINING, LOGISTICS, AND SUPPORT (OFFICE USES)
 BUILDING 3 - WORCESTER PUBLIC SCHOOLS STORAGE
 BUILDING 4 - WORCESTER PUBLIC SCHOOLS VEHICLE MAINTENANCE
 BUILDING 5 - STORAGE
 BUILDING 6 - STORAGE
 BUILDING 7 - STORAGE

PARKING CALCULATIONS:

	REQUIRED	PROVIDED
OFFICE TENANTS (111,847 S.F.) BUILDING 1		
1 PARKING SPACE FOR EVERY 300 S.F.	373	471 EX.
STORAGE SPACE (11,889 S.F.) BUILDINGS 3, 5, 6, 7		
1 PARKING SPACE FOR EVERY 1,000 S.F.	12	
OFFICE TENANT (23,371 S.F.) 2ND FLOOR OF BUILDING 2		
1 PARKING SPACE FOR EVERY 300 S.F.	78	80
WORCESTER PUBLIC SCHOOLS (38,097 S.F.) 1ST FLOOR OF BUILDING 2, 3B AND BUILDING 4		
1 PARKING SPACE FOR EVERY 300 S.F.	127	139*
FLEET PARKING PROVIDED:		
DRIVERS & FLEET PASSENGER VEHICLES		304*
MID SIZE BUSES		102*
LARGE BUSES		143*
TOTAL PARKING SPACES REQUIRED	590	690*
TOTAL PARKING SPACES PROVIDED		1,285*
TOTAL PARKING INCLUDING FLEET VEHICLES		1,285*
HP SPACES	12 (2%)	24
AT MANUFACTURING/OFFICE/RAO ENTRANCE		12
AT NEW BUILDING 2 2ND FLOOR ENTRANCE		4
AT WORCESTER PUBLIC SCHOOLS ENTRANCE		6
LOADING SPACES FOR 200,000 SF OPA	4	5

WATER RESOURCES PROTECTION OVERLAY DISTRICT (WRPOD) IMPERVIOUS COVER:
 EXISTING CONDITION: 23.6% IMPERVIOUS
 PROPOSED UNMITIGATED: 46.5% IMPERVIOUS
 PROPOSED NET AFTER MITIGATION: 20.0% IMPERVIOUS

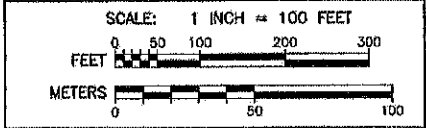
SEE STORMWATER REPORT FOR DETAILED CALCULATIONS AND DESCRIPTIONS OF THE PROPOSED TREATMENT AND INFILTRATION MITIGATION MEASURES.



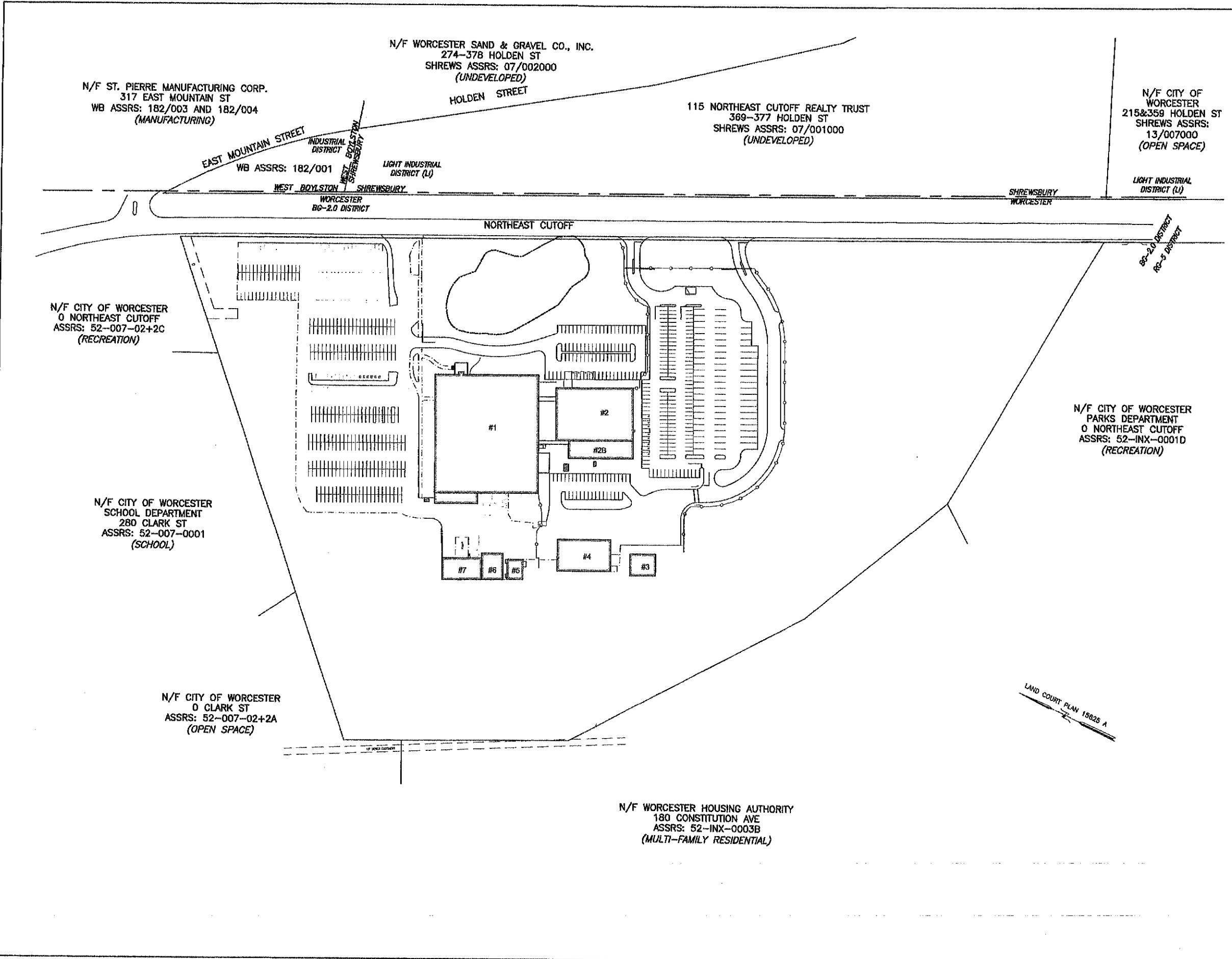
THOMPSON-LISTON ASSOCIATES, INC.
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 Erosion Control Specialists
 51 Main Street, Post Office Box 576, Boylston, MA 01805
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE LLO5
 WORCESTER, MASS. 01805



N/F ST. PIERRE MANUFACTURING CORP.
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(MANUFACTURING)

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115 NORTHEAST CUTOFF REALTY TRUST
369-377 HOLDEN ST
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N/F CITY OF WORCESTER
215&359 HOLDEN ST
SHREWS ASSRS:
13/007000
(OPEN SPACE)

N/F CITY OF WORCESTER
0 NORTHEAST CUTOFF
ASSRS: 52-007-02+2C
(RECREATION)

N/F CITY OF WORCESTER
SCHOOL DEPARTMENT
280 CLARK ST
ASSRS: 52-007-0001
(SCHOOL)

N/F CITY OF WORCESTER
0 CLARK ST
ASSRS: 52-007-02+2A
(OPEN SPACE)

N/F WORCESTER HOUSING AUTHORITY
180 CONSTITUTION AVE
ASSRS: 52-INX-0003B
(MULTI-FAMILY RESIDENTIAL)

N/F CITY OF WORCESTER
PARKS DEPARTMENT
0 NORTHEAST CUTOFF
ASSRS: 52-INX-0001D
(RECREATION)

LAND COURT PLAN 15625 A

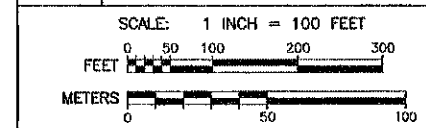


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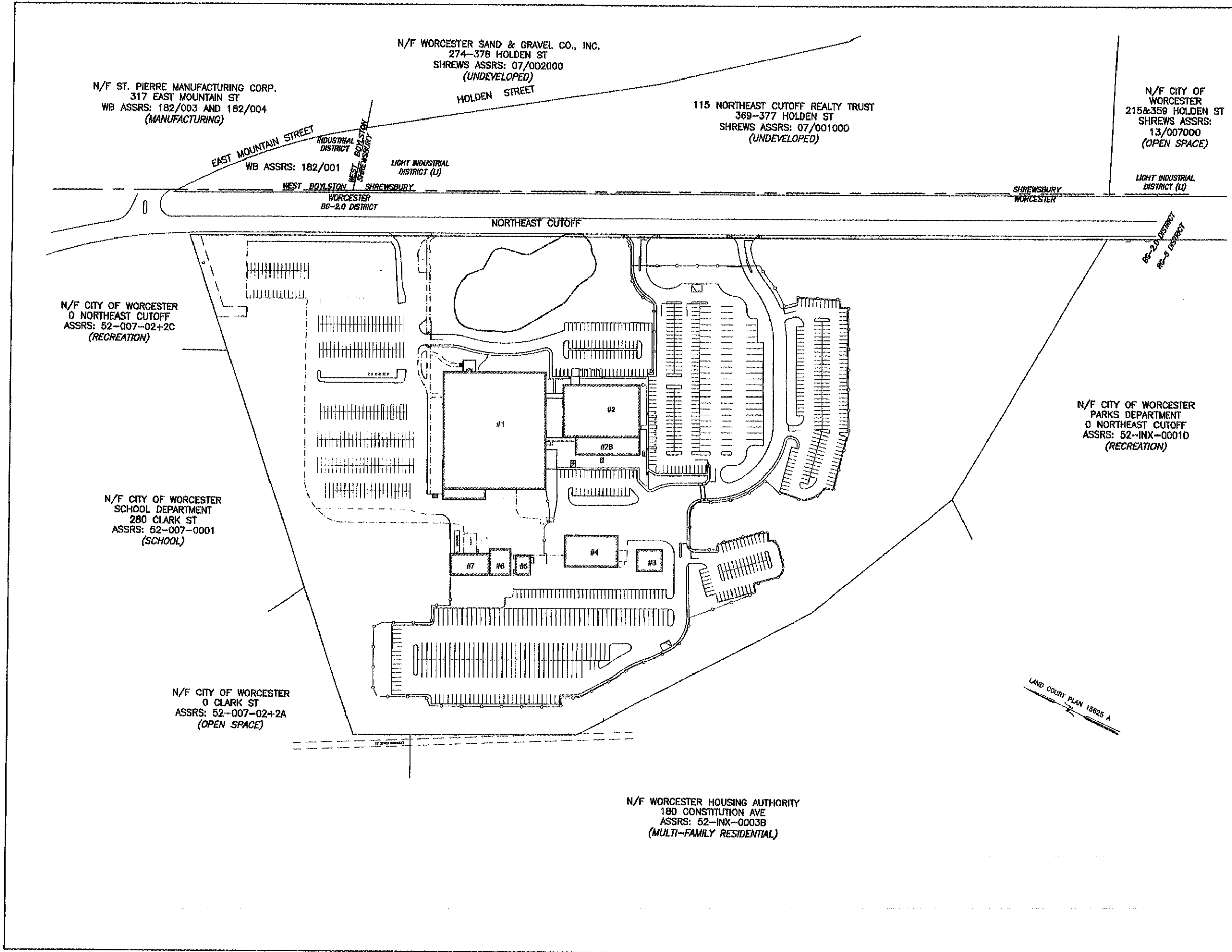
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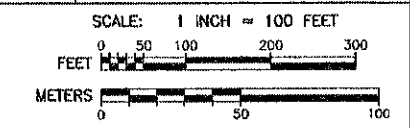
LAND COURT PLAN 15825 A



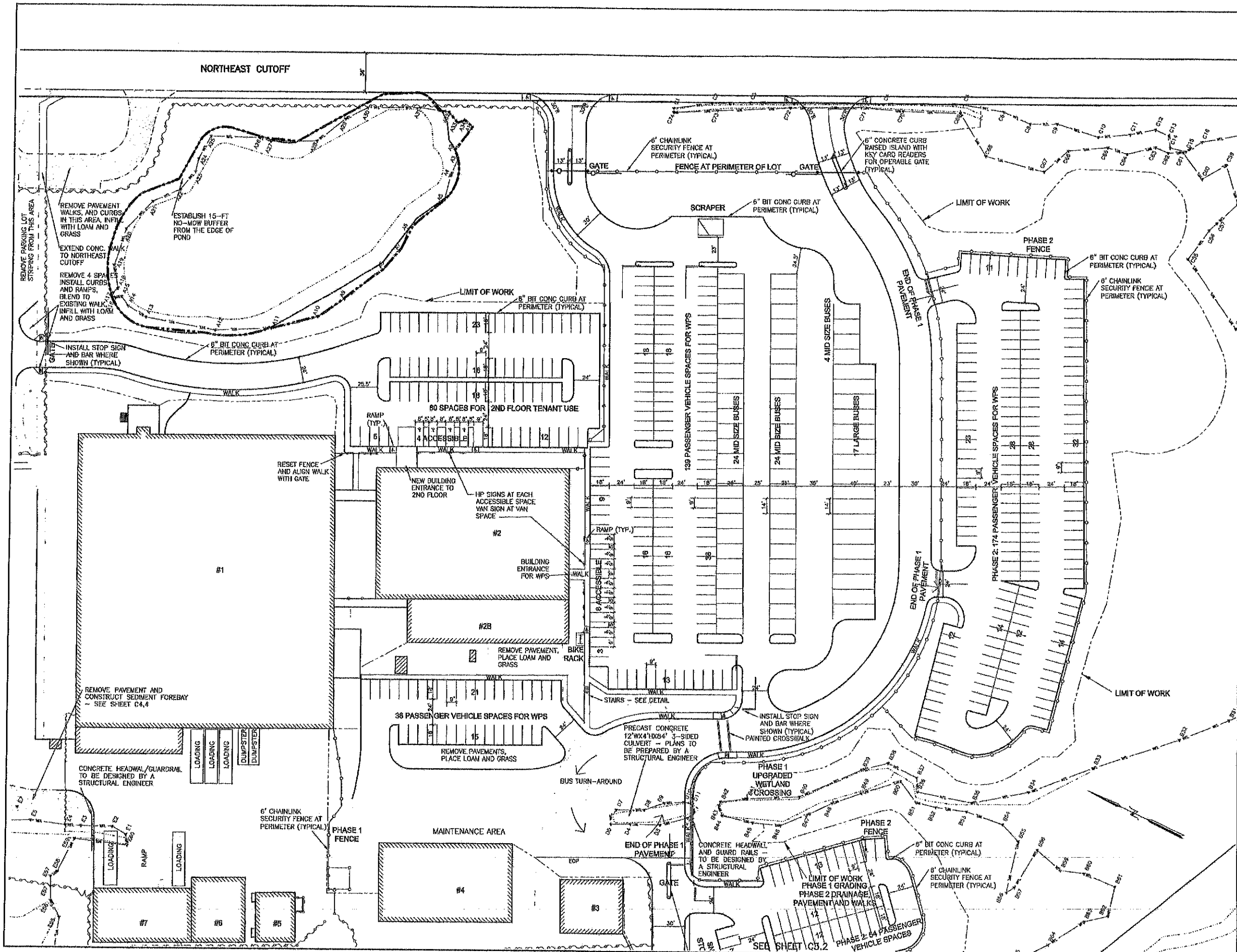
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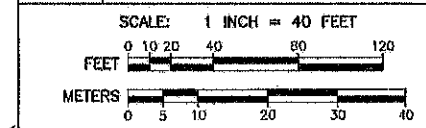
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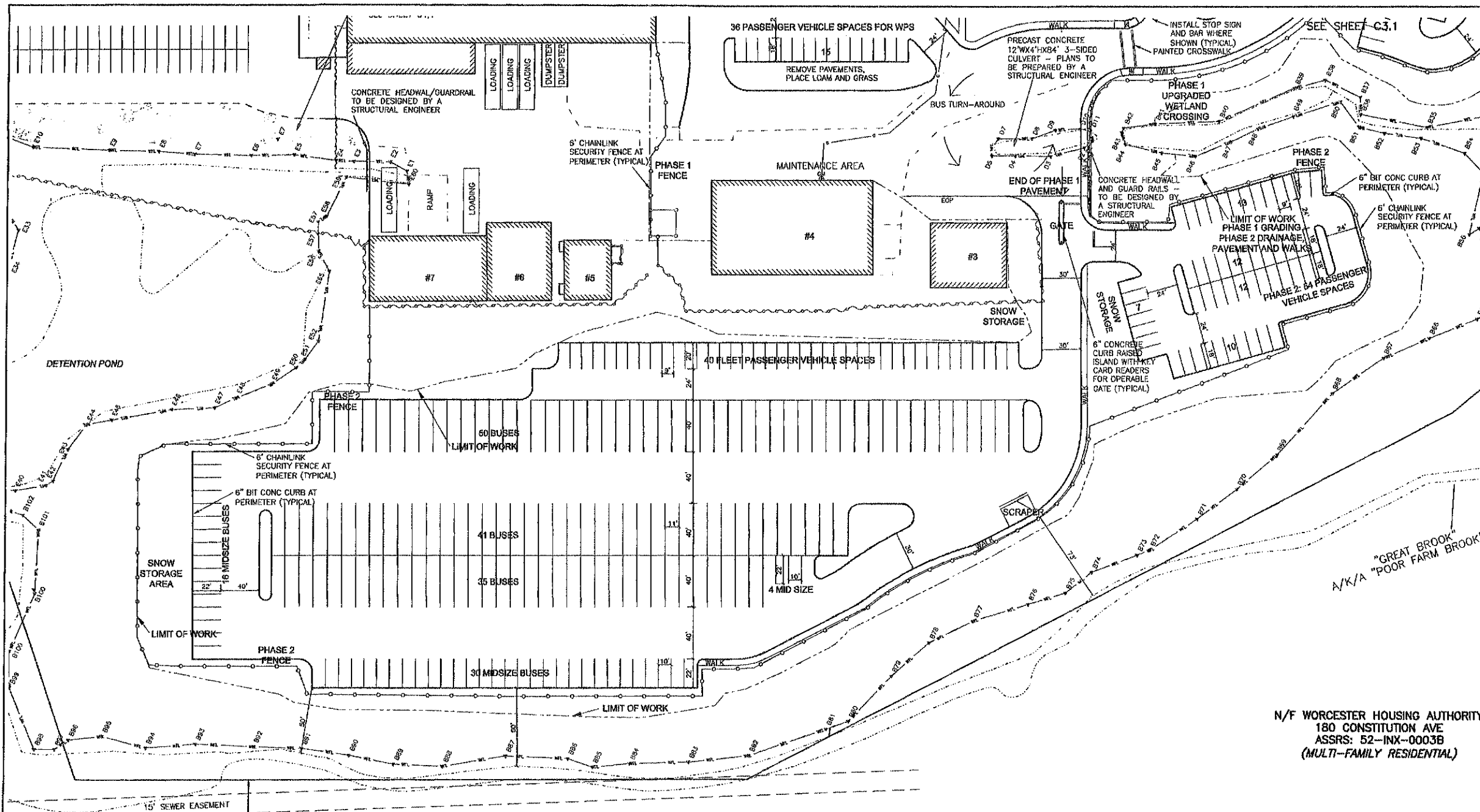
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 Erosion Control Specialists
 51 Main Street, Post Office Box 570, Uxbridge, MA 01505
 Telephone 508-869-6151 FAX 508-869-6842

GLT. NO. 1032 JOB NO. 348-3261
 DATE: JANUARY 13, 2020 DWG. NO. CHACHARONE ALLEGRO CURRENT

REVISIONS	
DATE	DESCRIPTION
2/10/2020	UPDATED FOR NOTICE OF INTENT FILING
8/10/2020	REVISION AND RESPOND TO STAFF COMMENTS
10/19/2020	UPDATE FOR CONSERVATION REVISIONS
1/4/2021	CONDITIONS OF APPROVAL



DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 1105
 WORCESTER, MASS. 01605
 PROPOSED LAYOUT PLAN C3.1



--- KEY ---

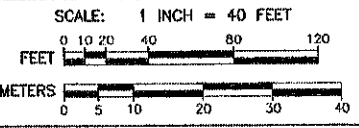
- BROOK OR POND HIGH WATER LINE
- 25' RIVERFRONT AREA
- MEAN ANNUAL HIGH WATER LINE
- BORDERING VEGETATED WETLAND
- 15' CITY WETLAND BUFFER
- 30' CITY WETLAND BUFFER
- 100' BUFFER ZONE
- FEMA ZONE A LINE
- DRAIN LINE
- SEWER LINE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCHBASIN WITH HEADER
- CATCHBASIN
- FLARED END SECTION
- WATER LINE
- WATER GATE
- WATER SHUT OFF
- HYDRANT
- GAS LINE
- EDGE OF PAVEMENT
- STIMULOUS BERRY
- GRANITE CURB
- GRANITE MONUMENT
- CONCRETE MONUMENT
- OVERHEAD WIRES
- UTILITY POLE
- CHAIN LINK FENCE
- 2' CONTOUR
- 10' CONTOUR
- PROPOSED CONTOUR
- STONE WALL
- TEST HOLE LOCATIONS

N/F WORCESTER HOUSING AUTHORITY
 180 CONSTITUTION AVE
 ASSRS: 52-INX-0003B
 (MULTI-FAMILY RESIDENTIAL)

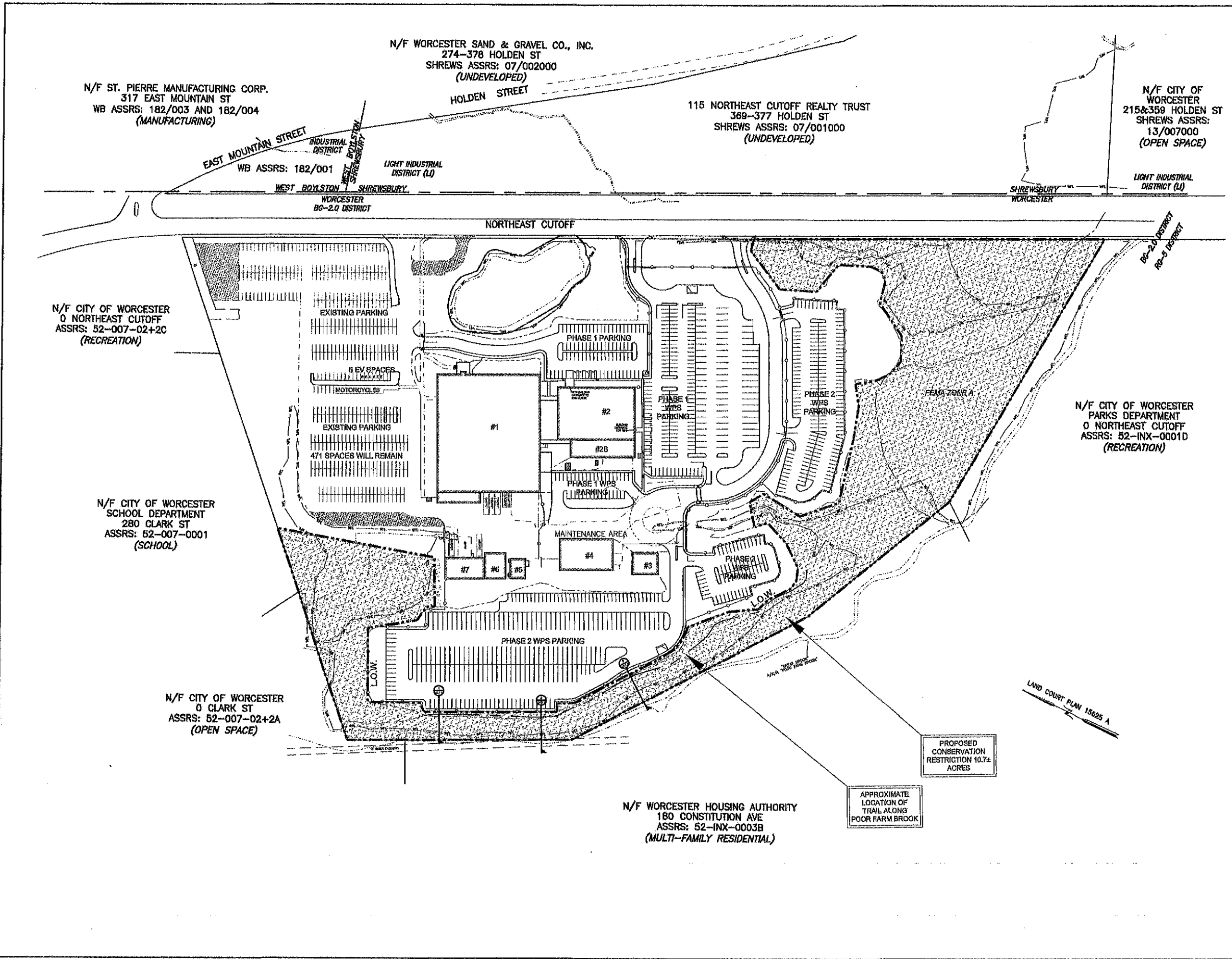


THOMPSON-LISTON ASSOCIATES, INC.
 Professional Engineers Professional Land Surveyors
 Boston Coastal Specialists
 51 Main Street, Post Office Box 570, Boylston, MA 01505
 Telephone 508-869-6151 FAX 508-989-6942

CLT. NO.	1032	JOB NO.	348-3261
DATE:	JANUARY 13, 2020	DWG NO.	CHACHARONE ALLEGRO CURRENT
REVISIONS			
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DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 1105
 WORCESTER, MASS. 01605



--- KEY ---

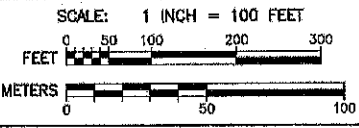
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[Symbol]	25' RIVERFRONT AREA
[Symbol]	MEAN ANNUAL HIGH WATER LINE
[Symbol]	BORDERING VEGETATED WETLAND
[Symbol]	15' CITY WETLAND BUFFER
[Symbol]	30' CITY WETLAND BUFFER
[Symbol]	100' BUFFER ZONE
[Symbol]	FEMA ZONE A LINE
[Symbol]	DRAIN LINE
[Symbol]	SEWER LINE
[Symbol]	SEWER MANHOLE
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[Symbol]	CATCHBASIN WITH HEADER
[Symbol]	CATCHBASIN
[Symbol]	FLARED END SECTION
[Symbol]	WATER LINE
[Symbol]	WATER GATE
[Symbol]	WATER SHUT OFF
[Symbol]	HYDRANT
[Symbol]	GAS LINE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	STIMULOUS BERM
[Symbol]	GRANITE CURB
[Symbol]	GRANITE MONUMENT
[Symbol]	CONCRETE MONUMENT
[Symbol]	OVERHEAD WIRES
[Symbol]	UTILITY POLE
[Symbol]	CHAIN LINK FENCE
[Symbol]	2' CONTOUR
[Symbol]	10' CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	STONE WALL
[Symbol]	TEST HOLE LOCATIONS



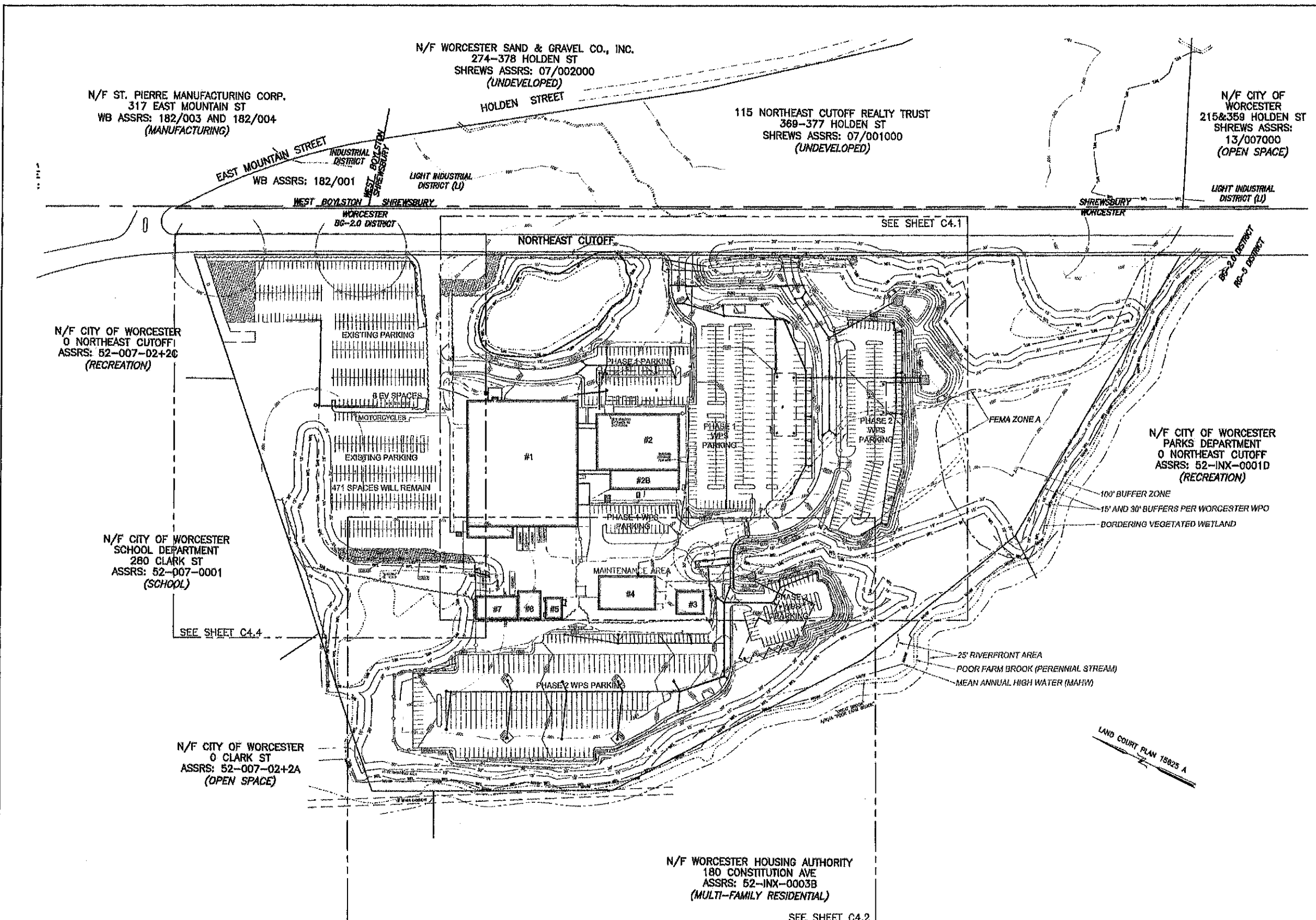
THOMPSON-LISTON ASSOCIATES, INC.
Professional Engineers Professional Land Surveyors
Erosion Control Specialists
51 Main Street, Post Office Box 570, Boylston, MA 01505
Telephone 508-863-6151 FAX 508-609-6842

CLT. NO.	1032	JOB NO.	348-3261
DATE:	JANUARY 13, 2020	DWG NO.	CHACHARONE ALLEGRO CURRENT

DATE:	REVISIONS DESCRIPTION
2/10/2020	UPDATED FOR NOTICE OF INTENT FILING
8/10/2020	REVISION AND RESPOND TO STAFF COMMENTS
1/4/2021	CONDITIONS OF APPROVAL



DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE 1105
WORCESTER, MASS. 01605



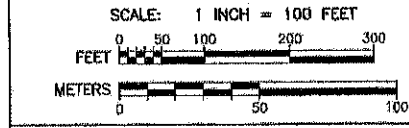
--- KEY ---

	BROOK OR POND HIGH WATER LINE
	25' RIVERFRONT AREA
	MEAN ANNUAL HIGH WATER LINE
	BORDERING VEGETATED WETLAND
	15' CITY WETLAND BUFFER
	30' CITY WETLAND BUFFER
	100' BUFFER ZONE
	FEMA ZONE A LINE
	DRAIN LINE
	SEWER LINE
	SEWER MANHOLE
	DRAIN MANHOLE
	CATCHBASIN WITH HEADER
	FLARED END SECTION
	WATER LINE
	WATER GATE
	WATER SHUT OFF
	HYDRANT
	GAS LINE
	EDGE OF PAVEMENT
	BITUMINOUS GRAVEL
	GRANITE CURB
	GRANITE MONUMENT
	CONCRETE MONUMENT
	OVERHEAD WIRES
	UTILITY POLE
	CHAIN LINK FENCE
	2' CONTOUR
	10' CONTOUR
	PROPOSED CONTOUR
	SHORE WALL
	TEST HOLE LOCATIONS

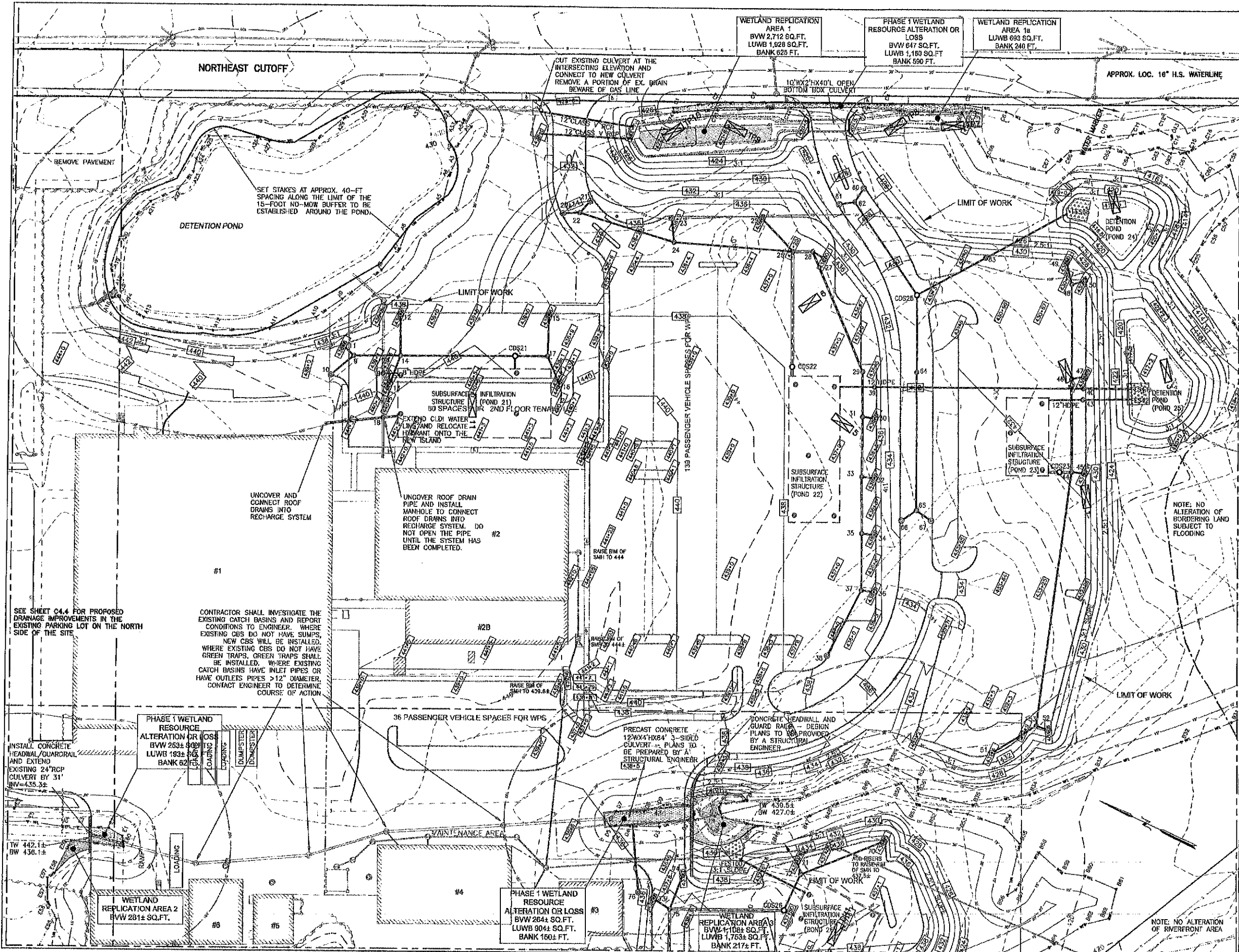


THOMPSON-LISTON ASSOCIATES, INC.
 Professional Engineers Professional Land Surveyors
 Erosion Control Specialists
 51 Main Street, Post Office Box 570, Boylston, MA 01505
 Telephone: 608-869-0151 FAX: 608-869-6842

CLT. NO.	1032	JOB NO.	348-3261
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REVISIONS			
DATE:		DESCRIPTION:	
2/10/2020		UPDATED FOR NOTICE OF INTENT FILING	
3/10/2020		REVISION AND RESPOND TO STAFF COMMENTS	
10/19/2020		UPDATE FOR CONSERVATION REVISIONS	
1/4/2021		CONDITIONS OF APPROVAL	



DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE LL05
 WORCESTER, MASS. 01605



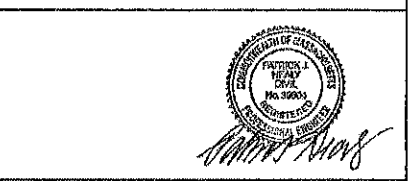
--- KEY ---

- BROOK OR POND HIGH WATER LINE
- 25' RIVERFRONT AREA
- MEAN ANNUAL HIGH WATER LINE
- BORDERING VEGETATED WETLAND
- 15' CITY WETLAND BUFFER
- 30' CITY WETLAND BUFFER
- 100' BUFFER ZONE
- FEMA ZONE A LINE
- DRAIN LINE
- SEWER LINE
- SEWER MANHOLE
- DRAIN MANHOLE
- CATCHBASIN WASH HEADER
- CATCHBASIN
- FLARED END SECTION
- WATER LINE
- WATER GATE
- WATER SHUT OFF
- HYDRANT
- GAS LINE
- EDGE OF PAVEMENT
- 8" TUMBULES BERM
- GRANITE CURB
- GRANITE MONUMENT
- CONCRETE MONUMENT
- OVERHEAD WIRES
- UTILITY POLE
- CHAIN LINK FENCE
- 2' CONTOUR
- 10' CONTOUR
- PROPOSED CONTOUR
- STONE WALL
- TEST HOLE LOCATIONS

SUMMARY OF WORK IN WETLAND RESOURCE AREAS

RESOURCE	ALTERATION	REPLACEMENT
BANK	802 FT.	1,082 FT.
BORDERING VEGETATED WETLAND	1,184 SQ. FT.	4,101 SQ. FT.
LAND UNDER WATER BODY	2,247 SQ. FT.	4,372 SQ. FT.
BORDERING LAND SUBJECT TO FLOODING	0	0
RIVERFRONT AREA	0	0

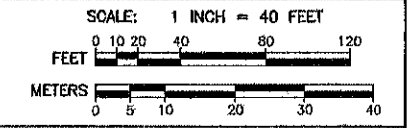
SEE SHEET C4.3 FOR BREAKDOWN BY INDIVIDUAL AREA



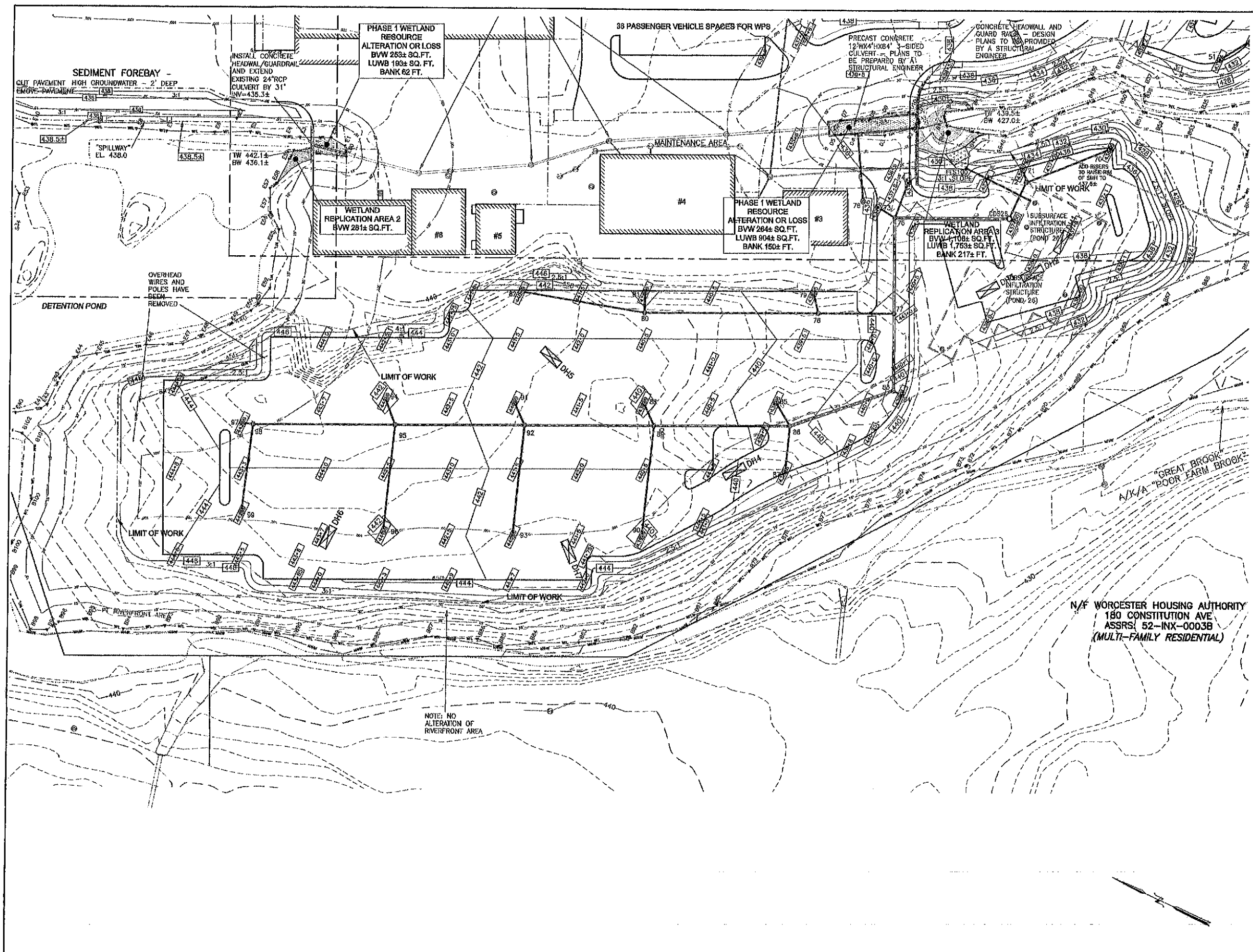
THOMPSON-LISTON ASSOCIATES, INC.
 Professional Engineers Professional Land Surveyors
 Boston Control Specialists
 51 Main Street, Post Office Box 570, Boylston, MA 01905
 Telephone 808-803-6191 FAX 808-803-6842

CLT. NO.	1032	JOB NO.	348-3261
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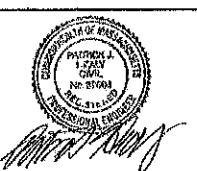


DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE L105
 WORCESTER, MASS. 01805



- KEY**
- BROOK OR POND HIGH WATER LINE
 - 25' RIVERFRONT AREA
 - MEAN ANNUAL HIGH WATER LINE
 - BORDERING VEGETATED WETLAND
 - 15' CITY WETLAND BUFFER
 - 30' CITY WETLAND BUFFER
 - 100' BUFFER ZONE
 - FEMA ZONE A LINE
 - DRAIN LINE
 - SEWER LINE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCHBASIN WITH HEADER
 - CATCHBASIN
 - FLARED END SECTION
 - WATER LINE
 - WATER GATE
 - WATER SHUT OFF
 - HYDRANT
 - GAS LINE
 - EDGE OF PAVEMENT
 - DILUABLE CURB
 - GRANITE CURB
 - ORNATE MONUMENT
 - CONCRETE MONUMENT
 - OVERHEAD WIRES
 - UTILITY POLE
 - CHAIN LINK FENCE
 - 2' CONTOUR
 - 10' CONTOUR
 - PROPOSED CONTOUR
 - STONE WALL
 - TEST HOLE LOCATIONS

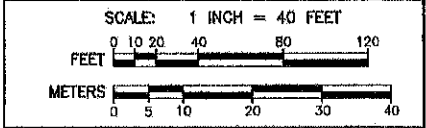
N/F WORCESTER HOUSING AUTHORITY
 180 CONSTITUTION AVE
 ASSRS: 52-INX-0003B
 (MULTI-FAMILY RESIDENTIAL)



THOMPSON-LISTON ASSOCIATES, INC.
 Professional Engineers Professional Land Surveyors
 Erosion Control Specialists
 51 Main Street, Post Office Box 570, Boylston, MA 01905
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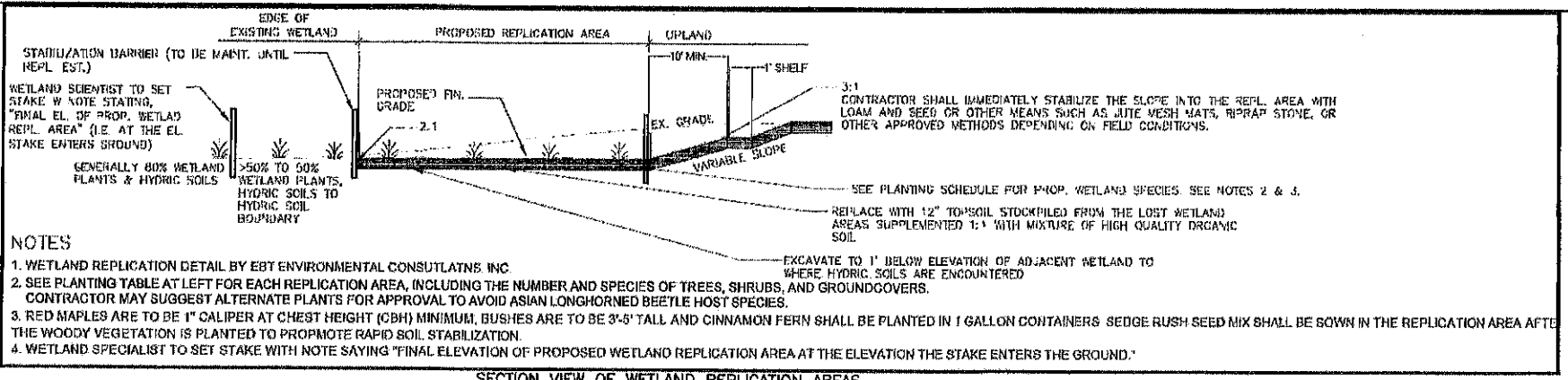
CLT. NO. 1032 JOB NO. 348-3261
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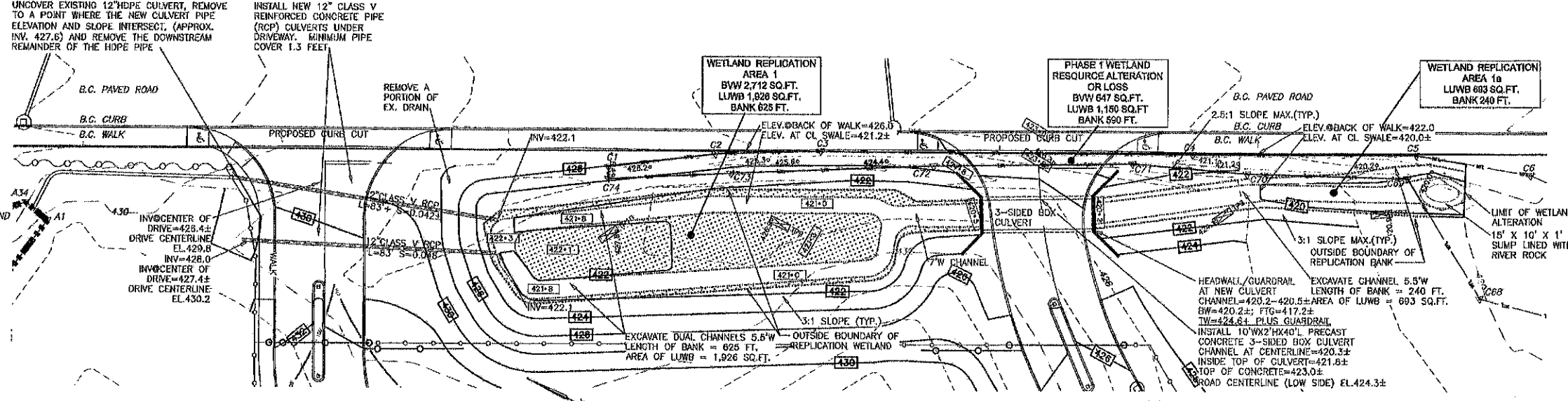
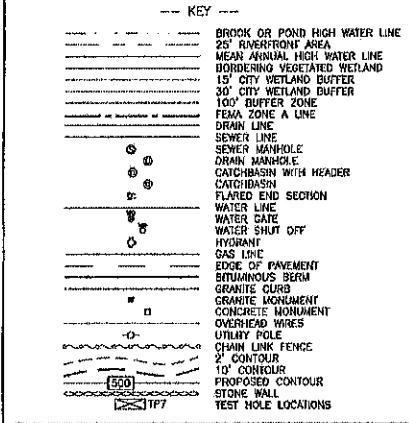
DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE L105
 WORCESTER, MASS. 01605

REPLICATION AREA PLANTING SCHEDULE			
REPL. AREA	TREES	SHRUBS	GROUND COVER
AREA 1	12 RED MAPLE (ACER RUBRUM, FAC)	13 HIGHBUSH BLUEBERRY (VACCINIUM CRYMOSOSUM, FAC)	10 CINNAMON FERN (OSMUNDA CINNAMOMIA, FAC) AT 8' SPACING
	12 BLACKGUM (NYSSA SYLVESTRICA, FAC)	13 NORTHERN ARROWWOOD (VIBURNUM RECONITUM, FAC)	
		15 COMMON WINTERBERRY (ILEX VERTICILLATA, FAC)	
		13 NORTHERN SPICEBUSH (LINDERA BENZONIA, FAC)	
AREA 2	1 RED MAPLE (ACER RUBRUM, FAC)	2 HIGHBUSH BLUEBERRY (VACCINIUM CRYMOSOSUM, FAC)	2 CINNAMON FERN (OSMUNDA CINNAMOMIA, FAC) AT 8' SPACING
	1 BLACKGUM (NYSSA SYLVESTRICA, FAC)	2 NORTHERN ARROWWOOD (VIBURNUM RECONITUM, FAC)	
		2 COMMON WINTERBERRY (ILEX VERTICILLATA, FAC)	
		2 NORTHERN SPICEBUSH (LINDERA BENZONIA, FAC)	
AREA 3	6 RED MAPLE (ACER RUBRUM, FAC)	6 HIGHBUSH BLUEBERRY (VACCINIUM CRYMOSOSUM, FAC)	8 CINNAMON FERN (OSMUNDA CINNAMOMIA, FAC) AT 8' SPACING
	6 BLACKGUM (NYSSA SYLVESTRICA, FAC)	6 NORTHERN ARROWWOOD (VIBURNUM RECONITUM, FAC)	
		6 COMMON WINTERBERRY (ILEX VERTICILLATA, FAC)	
		6 NORTHERN SPICEBUSH (LINDERA BENZONIA, FAC)	

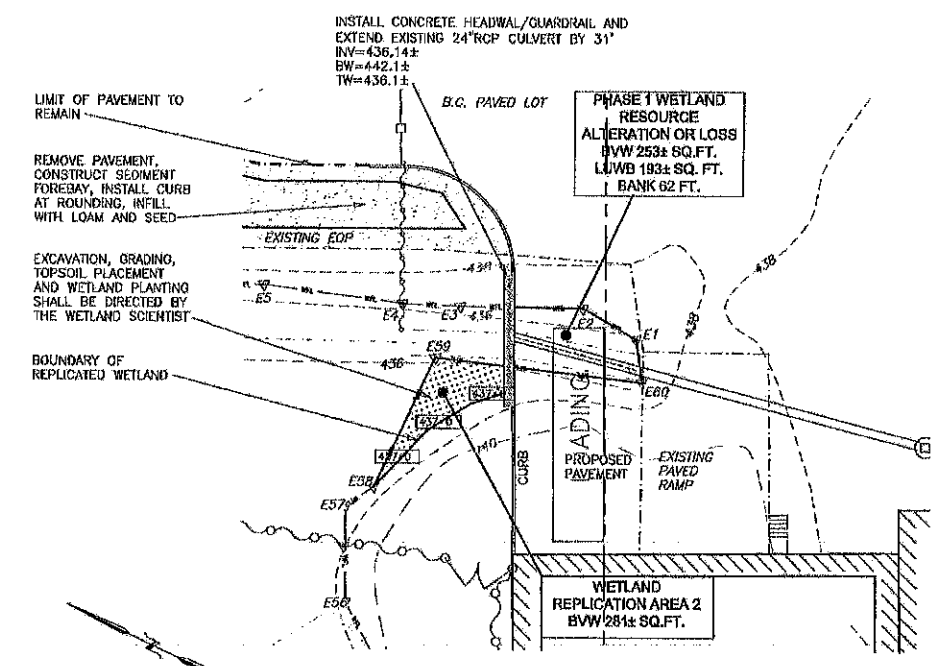


NOTES

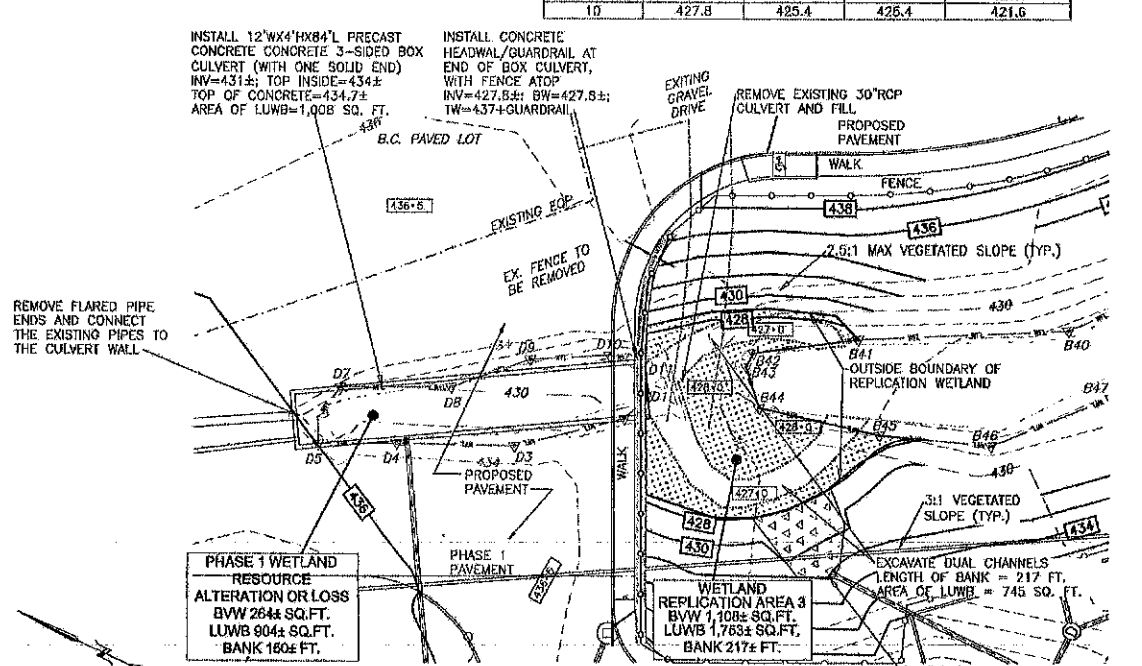
1. WETLAND REPLICATION DETAIL BY EBT ENVIRONMENTAL CONSULTANTS INC.
2. SEE PLANTING TABLE AT LEFT FOR EACH REPLICATION AREA, INCLUDING THE NUMBER AND SPECIES OF TREES, SHRUBS, AND GROUNDCOVERS. CONTRACTOR MAY SUGGEST ALTERNATE PLANTS FOR APPROVAL TO AVOID ASIAN LONGHORNE BEETLE HOST SPECIES.
3. RED MAPLES ARE TO BE 1" CALIBER AT CHEST HEIGHT (CBH) MINIMUM, BUSHES ARE TO BE 3'-5" TALL AND CINNAMON FERN SHALL BE PLANTED IN 1 GALLON CONTAINERS. SEDGE RUSH SEED MIX SHALL BE SOWN IN THE REPLICATION AREA AFTER THE WOODY VEGETATION IS PLANTED TO PROMOTE RAPID SOIL STABILIZATION.
4. WETLAND SPECIALIST TO SET STAKE WITH NOTE SAYING "FINAL ELEVATION OF PROPOSED WETLAND REPLICATION AREA AT THE ELEVATION THE STAKE ENTERS THE GROUND."



PLAN VIEW OF WETLAND REPLICATION AREA 1
SCALE 1"=20'±



PLAN VIEW OF WETLAND REPLICATION AREA 2
SCALE 1"=20'±



PLAN VIEW OF WETLAND REPLICATION AREA 3
SCALE 1"=20'±

SUMMARY OF WORK IN WETLAND RESOURCE AREAS			
REPLICATION AREA	RESOURCE	ALTERATION	REPLACEMENT
REPLICATION AREA 1	BANK	590 FT.	895 FT.
	BWV	647 SQ. FT.	2,712 SQ. FT.
	LUWB	1,150 SQ. FT.	2,619 SQ. FT.
REPLICATION AREA 2	BANK	62 FT.	
	BWV	253 SQ. FT.	281 SQ. FT.
	LUWB	193 SQ. FT.	
REPLICATION AREA 3	BANK	150 FT.	217 FT.
	BWV	264 SQ. FT.	1,108 SQ. FT.
	LUWB	904 SQ. FT.	1,753 SQ. FT.
TOTALS:	RESOURCE	ALTERATION	REPLACEMENT
	BANK	802 FT.	1,082 FT.
	BWV	1,164 SQ. FT.	4,101 SQ. FT.
	LUWB	2,247 SQ. FT.	4,372 SQ. FT.



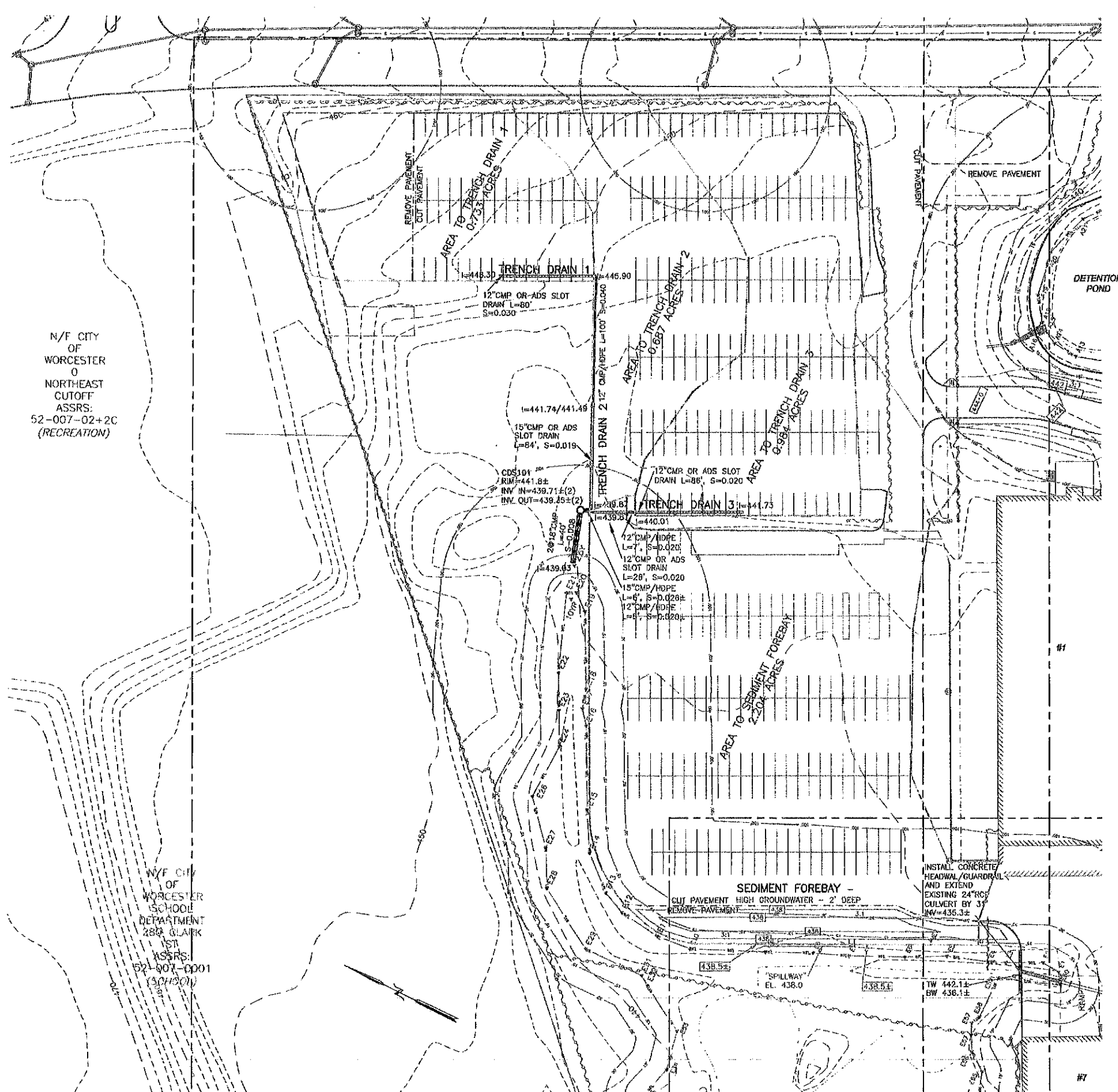
THOMPSON-LISTON ASSOCIATES, INC.
Professional Engineers, Professional Land Surveyors
Erosion Control Specialists
51 Main Street, Post Office Box 576, Boylston, MA 01905
Telephone 608-609-0151 FAX 308-609-6842

CLT. NO. 1032 JOB NO. 348-3261
DATE: JANUARY 13, 2020 DWG NO. CHACHARONE ALLEGRO CURRENT

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DATE	DESCRIPTION
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2/10/2020	ISSUED REPLICATION PLAN
8/10/2020	REVISIONS AND RESPOND TO STAFF COMMENTS
10/19/2020	UPDATE FOR CONSERVATION REVISIONS
1/4/2021	CONDITIONS OF APPROVAL

SCALE: AS NOTED

DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LLO5
WORCESTER, MASS. 01605



N/F CITY OF WORCESTER 0 NORTHEAST CUTOFF ASSRS: 52-007-02+2C (RECREATION)

N/F CITY OF WORCESTER SCHOOL DEPARTMENT 280 CLARK 1ST ASSRS: 52-007-0001 (SCHOOL)

- KEY ---
- BROOK OR POND HIGH WATER LINE
 - 2' SHOREROFT AREA
 - MEAN ANNUAL HIGH WATER LINE
 - BORDERING VEGETATED WETLAND
 - 1' CITY WETLAND BUFFER
 - 30' CITY WETLAND BUFFER
 - 100' BUFFER ZONE
 - FEMA ZONE A LINE
 - DRAIN LINE
 - SEWER LINE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCHBASIN WITH HEADER
 - CATCHBASIN
 - FLARED END SECTION
 - WATER LINE
 - WATER GATE
 - WATER SHUT OFF
 - HYDRANT
 - GAS LINE
 - EDGE OF PAVEMENT
 - BITUMINOUS BERM
 - GRANITE CURB
 - GRANITE MONUMENT
 - CONCRETE MOVEMENT
 - OVERHEAD WIRES
 - UTILITY POLE
 - CHAIN LINK FENCE
 - 2' CONTOUR
 - 10' CONTOUR
 - PROPOSED CONTOUR
 - STONE WALL
 - TEST HOLE LOCATIONS

PROPOSED IMPROVEMENTS TO EXISTING PARKING LOT:
 -INSTALL TRENCH DRAINS AND HYDRODYNAMIC SEPARATOR AT THE UPPER LOT
 -INSTALL SEDIMENT FOREBAY AT THE LOWER LOT

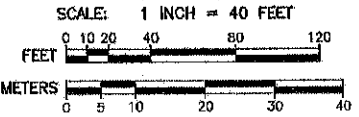


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 Professional Engineers Professional Land Surveyors
 Erosion Control Specialists
 31 Main Street, Post Office Box 578, Boylston, MA 01508
 Telephone 508-869-6151 FAX 508-869-6542

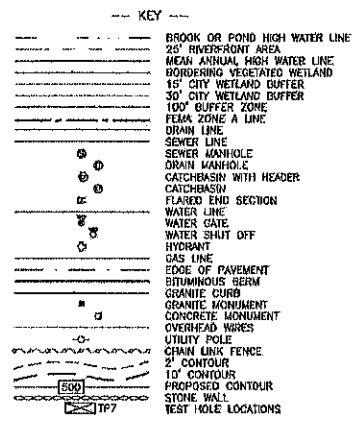
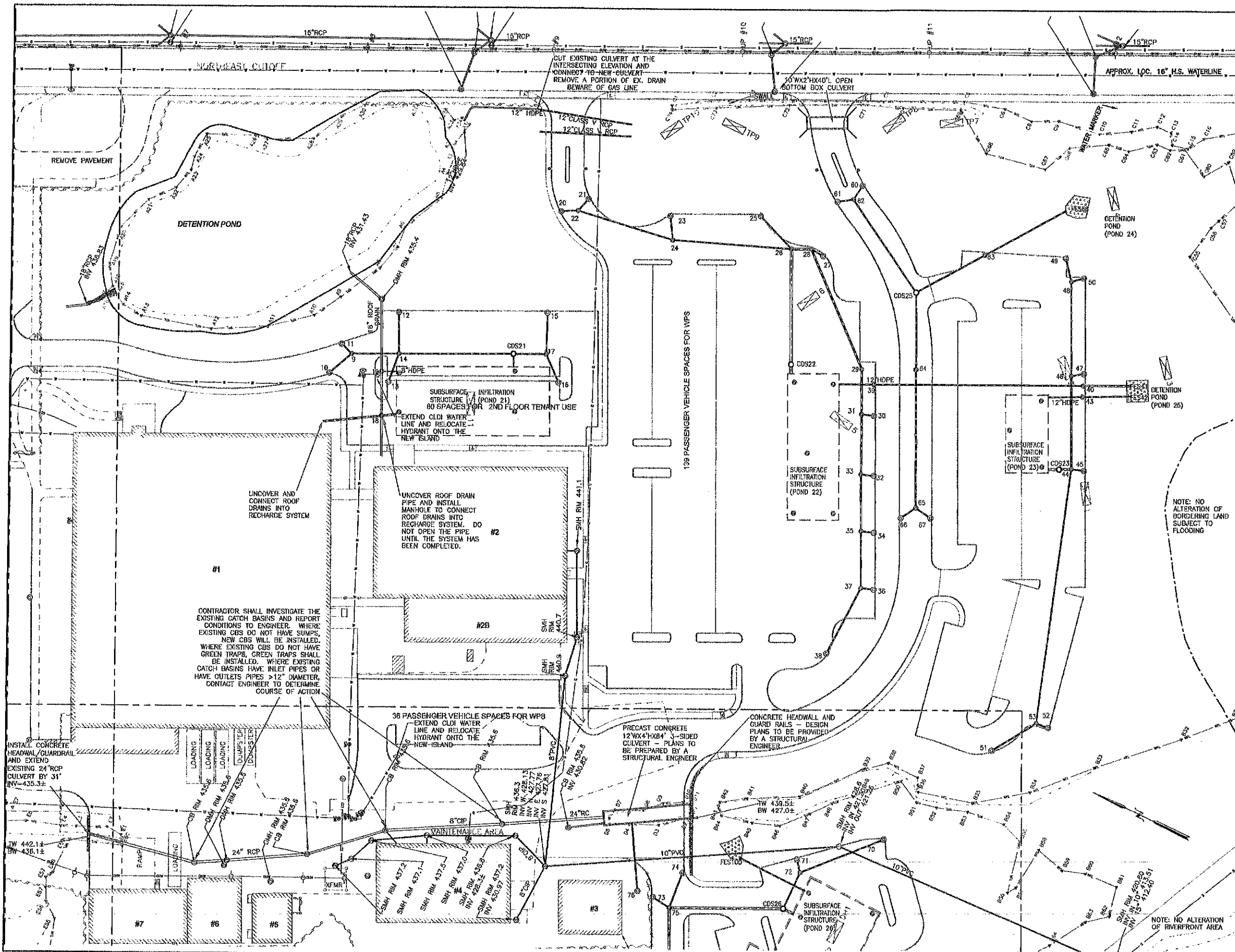
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DATE	REVISIONS DESCRIPTION
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8/10/2020	REVISION AND RESPOND TO STAFF COMMENTS
8/26/2020	REVISE STORMWATER CALCULATIONS/REPORT
10/19/2020	UPDATE FOR CONSERVATION REVISIONS
1/4/2021	CONDITIONS OF APPROVAL



DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE LLO5
 WORCESTER, MASS. 01605



DIG SAFE:
EXCEPT FOR VISIBLE STRUCTURES (MANHOLES, GATES, POLES, ETC.) LOCATED BY THOMPSON-LISTON ASSOCIATES, INC., ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND THEIR LOCATIONS DEPICTED HERE ARE APPROXIMATE ONLY. THE ACTUAL UTILITY LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, DRILLING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRS ARE STARTED. ALL UTILITY COMPANIES, PUBLIC & PRIVATE, MUST BE CONTACTED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. THOMPSON-LISTON ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCUATELY SHOWN. CALL "DIG SAFE" AT 1-888-344-7233.

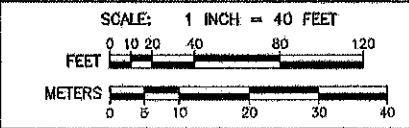


THOMPSON-LISTON ASSOCIATES, INC.
Professional Engineers, Professional Land Surveyors
Boston Control Specialists
51 Main Street, Box Office Box 570, Boston, MA 01805
Telephone 308-869-6181 FAX 308-869-6842

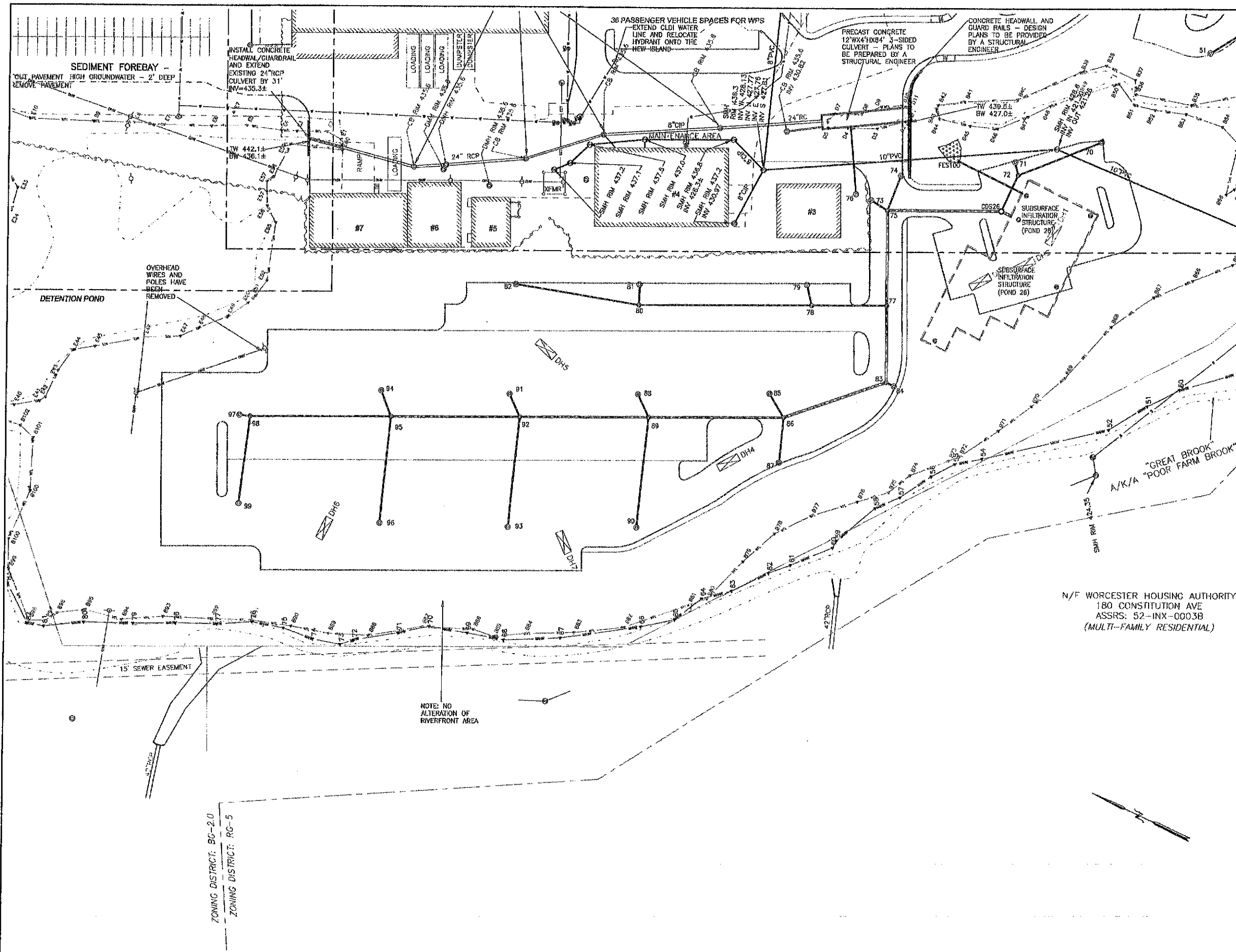
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DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LL05
WORCESTER, MASS. 01605



--- KEY ---

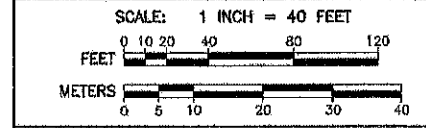
---	BROOK OR POND HIGH WATER LINE
---	25' RIVERFRONT AREA
---	MEAN ANNUAL HIGH WATER LINE
---	BORDERING VEGETATED WETLAND
---	15' CITY WETLAND BUFFER
---	30' CITY WETLAND BUFFER
---	100' BUFFER ZONE
---	FEMA ZONE A LINE
---	SEWER LINE
○	SEWER MANHOLE
○	DRAIN MANHOLE
○	CATCHBASIN WITH HEADER
○	CATCHBASIN
○	FLARED END SECTION
○	WATER LINE
○	WATER GATE
○	WATER SHUT OFF
○	HYDRANT
---	GAS LINE
---	EDGE OF PAVEMENT
---	BITUMINOUS BERM
---	GRANITE CURB
---	CONCRETE MONUMENT
---	OVERHEAD WIRES
---	UTILITY POLE
---	CHAIN LINK FENCE
---	2' CONTOUR
---	10' CONTOUR
---	PROPOSED CONTOUR
---	STONE WALL
---	TEST HOLE LOCATIONS

DIG SAFE:
EXCEPT FOR VISIBLE STRUCTURES (MANHOLES, GATES, POLES, ETC.) LOCATED BY THOMPSON-LISTON ASSOCIATES, INC., ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND THEIR LOCATIONS DEPICTED HERE ARE APPROXIMATE ONLY. THE ACTUAL UTILITY LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE DESIGNING, EXCAVATING, BLASTING, DRILLING, INSTALLING, BACKFILLING, GRADING, PAVEMENT RESTORATION OR REPAIRS ARE STARTED. ALL UTILITY COMPANIES, PUBLIC & PRIVATE, MUST BE CONTACTED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN. THOMPSON-LISTON ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN. CALL "DIG SAFE" AT 1-888-344-7233.

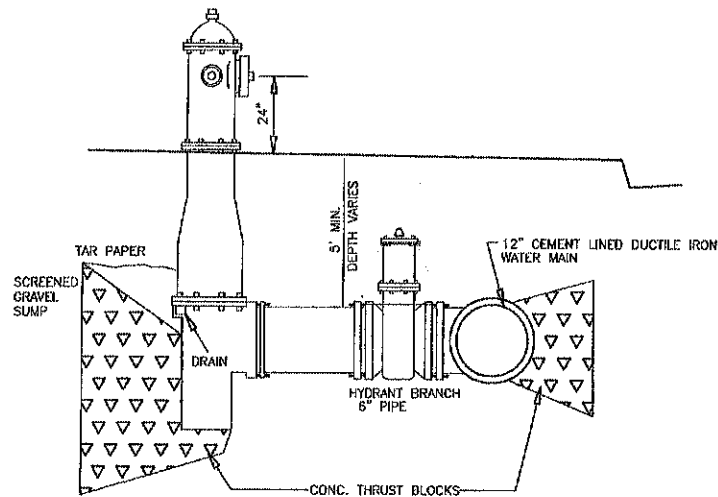


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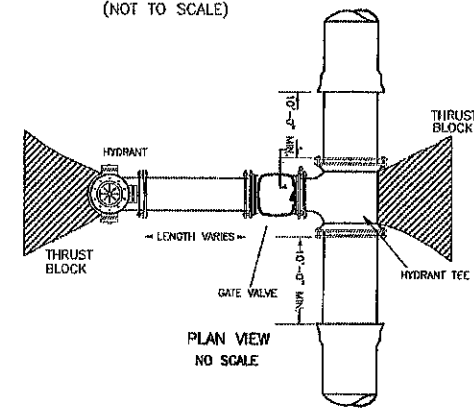
CLT. NO.	1032	JOB NO.	348-3261
DATE:	JANUARY 13, 2020	DWG. NO.	CHACHARONE ALEGRO CURRENT
REVISIONS			
DATE:		DESCRIPTION	
2/10/2020		UPDATED FOR NOTICE OF INTENT FILING	
8/10/2020		REVISION AND RESPOND TO STAFF COMMENTS	
10/18/2020		UPDATE FOR CONSERVATION REVISIONS	
1/4/2021		CONDITIONS OF APPROVAL	



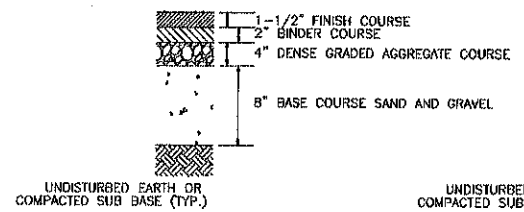
DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LL05
WORCESTER, MASS. 01605



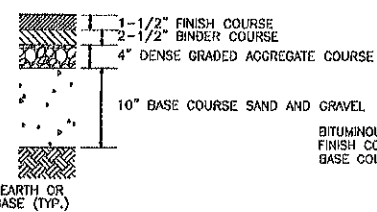
HYDRANT DETAIL
(NOT TO SCALE)



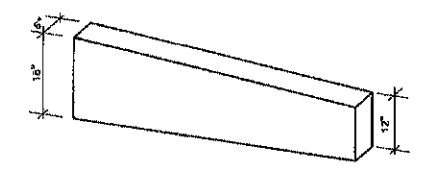
TYPICAL HYDRANT W/GATE
(NOT TO SCALE)



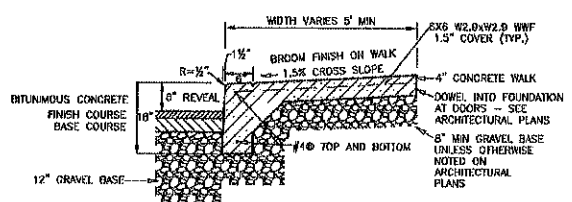
PAVEMENT SECTION
PASSENGER CAR PARKING AREAS
APPROX. SCALE 1"=1'



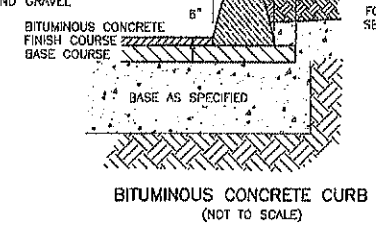
PAVEMENT SECTION
BUS & TRUCK PARKING AREAS
AND PRIVATE ROAD
APPROX. SCALE 1"=1'



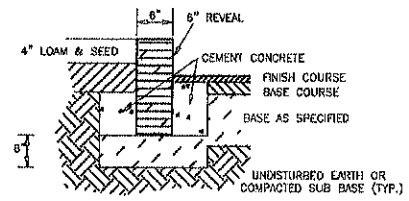
TYPICAL GRANITE CURB TRANSITION SECTION
FOR USE IN THE PUBLIC RIGHT OF WAY (NORTHEAST CUTOFF)
(NOT TO SCALE)



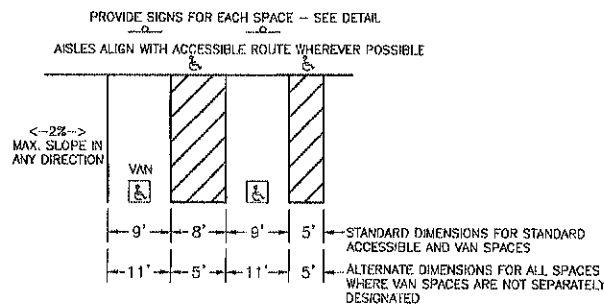
CEMENT CONCRETE SIDEWALK, CURB & PAVEMENT DETAIL
DETAIL FOR CONCRETE WHEELCHAIR RAMP, ENTRANCE WALKS FROM
PARKING TO BUILDING, AND RAISED ISLANDS AT CARD READERS/GATES
(NOT TO SCALE)



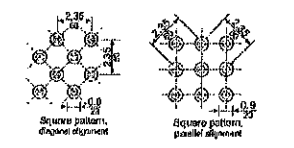
BITUMINOUS CONCRETE CURB
(NOT TO SCALE)



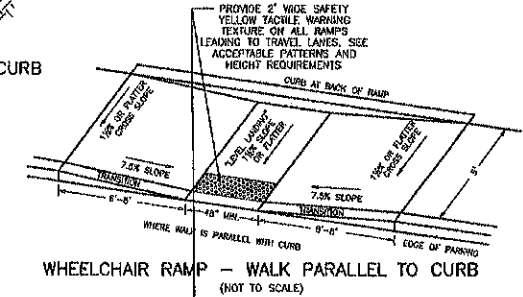
GRANITE CURB
(NOT TO SCALE)



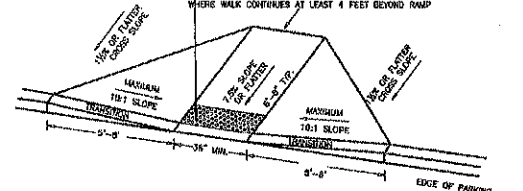
DETAIL OF DIMENSIONS FOR ACCESSIBLE SPACES
(NOT TO SCALE)



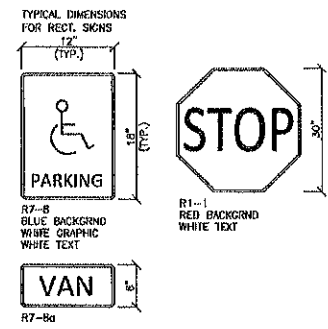
Wheelchair ramps shall consist of finished concrete slabs with a diameter of nominal 8" to 12" and a height of nominal 0.3" to 0.5" above existing grade. The concrete shall be finished with a broom texture. The material used to provide contrast shall be an integral part of the walking surface. Detectable warning surfaces on interior surfaces shall differ from sidewalk walking surfaces in color and/or texture. ADAAG 4.03.3



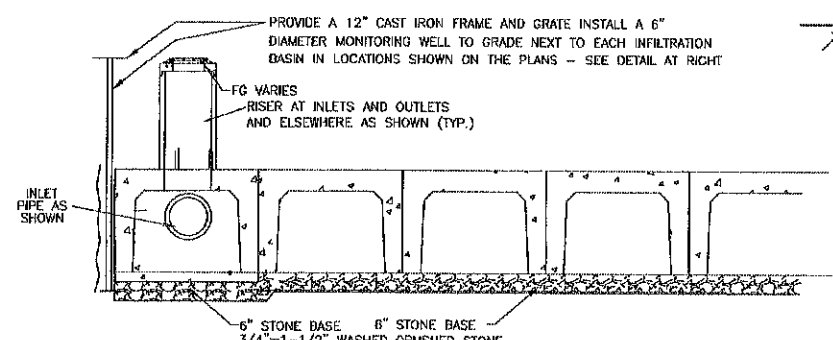
WHEELCHAIR RAMP - WALK PARALLEL TO CURB
(NOT TO SCALE)



WHEELCHAIR RAMP - WALK PERPENDICULAR TO CURB
(NOT TO SCALE)

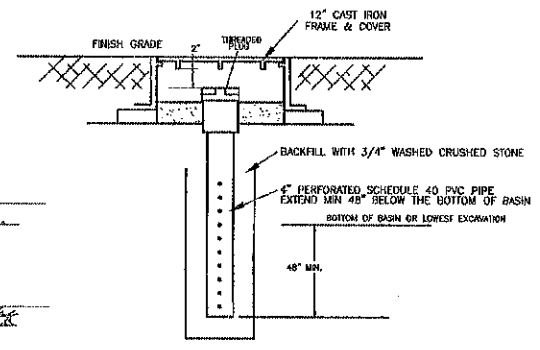


NOTES:
ALL SIGNS SHALL BE COMPLIANT WITH THE MUTCD. SIGNS SHALL BE PERMANENTLY LOCATED AT A HEIGHT OF NOT LESS THAN FIVE FEET NOR MORE THAN EIGHT FEET TO THE TOP OF THE SIGN.
ALL HANDICAP PARKING SIGNS SHALL BE LOCATED AT THE HEAD OF EACH SPACE AND NO MORE THAN TEN FEET AWAY FROM THE SPACE. SIGNS SHALL BE MOUNTED ON NOMINAL 2"x2" GALVANIZED STEEL POSTS.

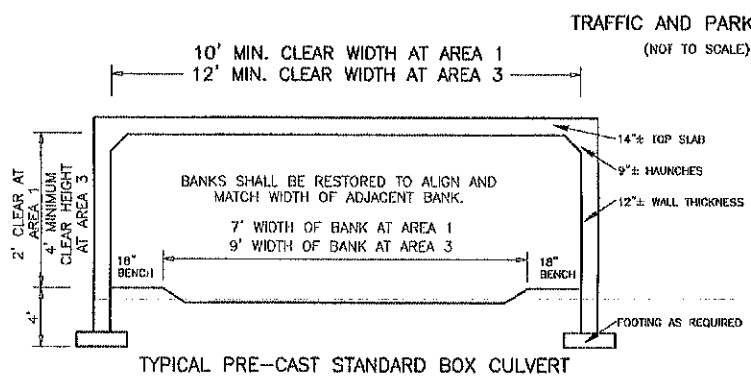


PROFILE OF INFILTRATION/RETENTION STRUCTURE
SUBMIT SHOP DRAWINGS TO ENGINEER SHOWING ACTUAL SYSTEM CONFIGURATIONS

THE RETENTION/INFILTRATION STRUCTURES SHALL CONSIST OF PRECAST CONCRETE 8'x8' MODULES WITH AN INSIDE HEIGHT OF 2'-5" AS SHOWN IN THE STORMWATER REPORT AND SHALL BE OPEN BOTTOM EXCEPT FOR THE INLET MODULE WHICH SHALL HAVE A PRECAST CONCRETE SLAB FLOOR TO ALLOW FOR POSSIBLE ADDITIONAL CLEANOUT. INLETS AND OUTLETS SHALL BE FACTORY CAST OR CORED INTO THE WALLS OF THE MODULES. SEE THE STORMWATER REPORT FOR CONFIGURATIONS AND DIMENSIONS OF THE FOUR SUBSURFACE PONDS 21, 22, 23, AND 26.



DETAIL OF MONITORING WELL FOR ALL INFILTRATION BASINS
INSTALLED IN LOCATIONS SHOWN ON PLANS
(NOT TO SCALE)



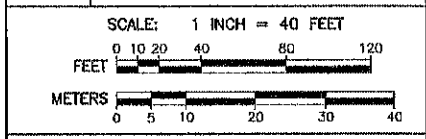
TYPICAL PRE-CAST STANDARD BOX CULVERT
AS MANUFACTURED BY ARROW CONCRETE OR EQUAL
MINIMUM DIMENSIONS AND OPENNESS RATIO ARE SHOWN. LARGER BOX CULVERTS OR PRECAST CONCRETE ARCHES MAY BE SUBSTITUTED WITH LARGER AREAS.
(NOT TO SCALE)

- NOTES:
1. THE MATERIALS, METHODS, AND WORKMANSHIP OF ALL SEWER, DRAIN, AND WATER PIPES PROPOSED HEREON, INCLUDING ALL WORK WITHIN THE PUBLIC STREETS, TRENCHES AND PAVEMENT PATCHES, SHALL COMPLY WITH THE STANDARD DETAILS AND SPECIFICATIONS OF THE WORCESTER DEPARTMENT OF PUBLIC WORKS.
 2. UNLESS OTHERWISE NOTED, THE CONSTRUCTION MATERIALS DESCRIBED HEREIN REFER TO THE MASSACHUSETTS DOT, HIGHWAY DEPARTMENT, SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 3. PAVEMENT REPAIRS IN THE PUBLIC WAYS SHALL BE HOT MIX ASPHALT CONCRETE, TYPE 1, 1-1/2" TOP COURSE 3/4" AGGREGATE, OVER 2-1/2" DENSE BINDER, INTERMEDIATE AGGREGATE, (M3.11.00)
 4. FLOWABLE FILL IN ROAD TRENCHES SHALL MEET THE REQUIREMENTS OF THE CITY OF WORCESTER DEPARTMENT OF PUBLIC WORKS.
 5. CEMENT CONCRETE SHALL BE 4,000 PSI, 3/4" AGGREGATE, MIN 610 LBS CEMENT PER CY (M4.02.00)
 6. REFER TO LANDSCAPE DRAWINGS FOR SOIL PREPARATION, PLANTINGS, SEED MIX, AND DENSE MIX SURFACING SPECIFICATIONS.
 7. DRAINAGE PIPE SHALL BE DR18PVC FROM CATCH BASIN TO MANHOLE, REINFORCED CONCRETE PIPE WHERE IT CONNECTS TO ANY CITY OF WORCESTER SYSTEM, AND HDPE N-12 ELSEWHERE WITHIN THE SITE, EXCEPT WHERE NOTED OTHERWISE.
 8. SANITARY SEWER PIPE SHALL BE SDR35 PVC. CONNECTIONS TO EXISTING SERVICE SHALL BE MADE IN THE MANNER AND WITH MATERIALS ACCEPTABLE TO THE WORCESTER DPW.
 9. FIRE PROTECTION WATER SERVICE SHALL BE 8" DIAMETER CLASS 52 CEMENT LINED DUCTILE IRON PIPE CONNECTED TO THE EXISTING MAIN IN THE MANNER AND WITH MATERIALS ACCEPTABLE TO THE WORCESTER DPW.
 10. DOMESTIC WATER SERVICE SHALL BE 2" COPPER, WITH CORPORATION STOP MEETING THE REQUIREMENTS OF THE WORCESTER DPW.
 11. TRASH AND RECYCLABLES WILL BE STORED IN CLOSED DUMPSTER CONTAINERS AT THE REAR OF THE BUILDING AS IS THE CASE PRESENTLY.
 12. ALL TREES PLANTED SHALL BE ASIAN LONGHORNED BEETLE RESISTANT VARIETIES.

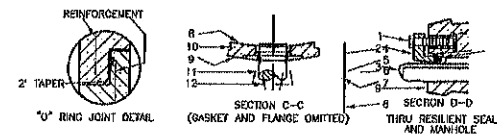


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31 Main Street, Post Office Box 570, Boylston, MA 01509
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CLT. NO.	1032	JOB NO.	348-3261
DATE:	JANUARY 13, 2020	DWG NO.	CHACHARONE ALLEGRO CURRENT
REVISIONS			
DATE:		DESCRIPTION	
2/10/2020		UPDATED FOR NOTICE OF INTENT FILING	
8/10/2020		REVISION AND RESPOND TO STAFF COMMENTS	
10/19/2020		UPDATE FOR CONSERVATION REVISIONS	
1/4/2021		CONDITIONS OF APPROVAL	

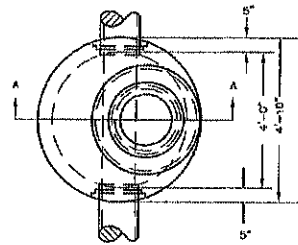


DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LLO5
WORCESTER, MASS. 01605

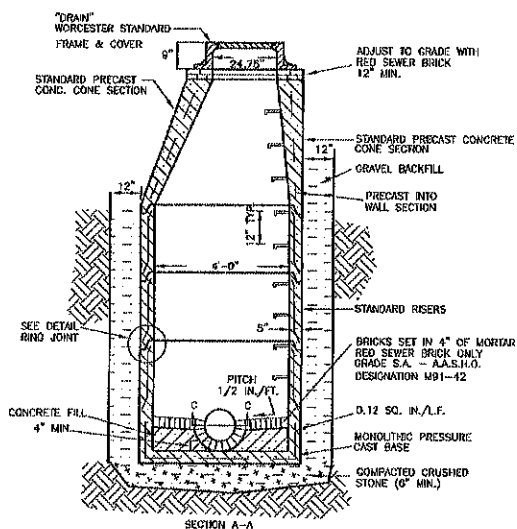


DETAILS
(NOT TO SCALE)
(SEE NOTES TO LEFT)

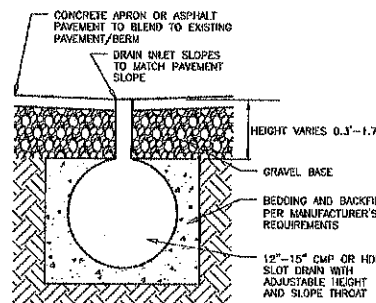
1. 1/2" COR-TEN BOLTS OR APPROVED EQUAL WITH WASHER
2. CAST IRON COMPRESSION FLANGE (A.S.T.M. A48 CLASS 20)
3. SIZE OF FLANGE TO MEET CLASS AND TYPE OF PIPE
4. PIPE SECTION
5. CAST IRON INSERT - 1/2" TAP (A.S.T.M. A48)
6. SMOOTH BEVELLED SURFACE TO RECEIVE RUBBER GASKET
7. RUBBER GASKET (A.S.T.M. C445-85)
8. BEVEL TO ALLOW FOR MISALIGNMENT
9. INNER SURFACE OF PRECAST CONCRETE MANHOLE
10. OUTER SURFACE OF PRECAST CONCRETE MANHOLE
11. PRECAST CONCRETE MANHOLE (A.S.T.M. C478-86)
12. PVC, CLAY, CAST IRON OR CONCRETE PIPE
13. 9" ALLOWABLE MISALIGNMENT OFF CENTER IN ANY DIRECTION



TYPICAL PRE-CAST MANHOLE
(NOT TO SCALE)

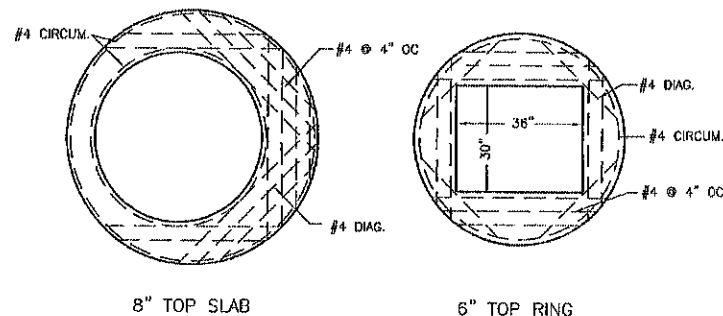


TYPICAL PRE-CAST MANHOLE
(NOT TO SCALE)

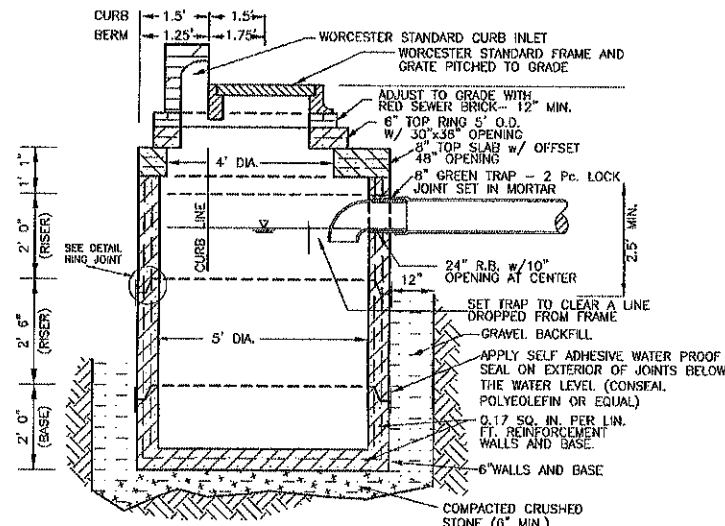


SLOTTED DRAIN PIPE
(NOT TO SCALE)

SLOT DRAIN	DIAMETER (IN)	LENGTH (FT)	HIGH	LOW	SLOPE (MIN)	SLOPE (PIPE)
SLOT DRAIN 1	12	50	451.00	448.10	0.036	
INVERT			448.30	445.80		0.030
SLOT DRAIN 2	15	100	443.80	441.36	0.023	
INVERT			441.48	438.87		0.040
SLOT DRAIN 3	12	112	444.20	441.30	0.024	
INVERT			441.75	438.87		0.020

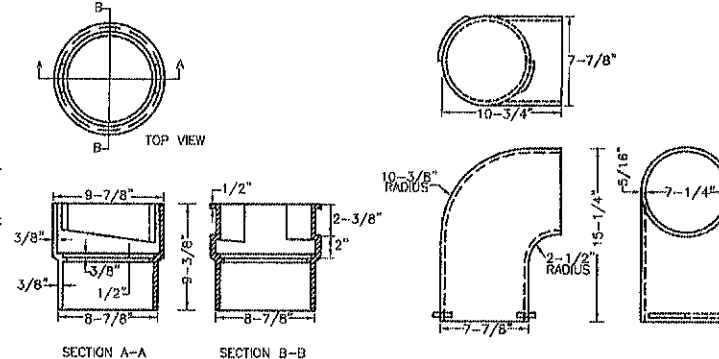


8" TOP SLAB
6" TOP RING



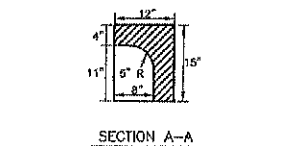
TYPICAL PRE-CAST CATCH BASIN
(NOT TO SCALE)

CONTRACTOR SHALL INVESTIGATE AND REPORT TO ENGINEER ON THE CONDITIONS OF THE EXISTING CATCH BASINS AT THE REAR OF BUILDINGS 1 & 2. WHERE EXISTING CATCH BASINS DO NOT HAVE SUMPS, NEW CATCH BASINS MEETING THESE STANDARDS SHALL BE INSTALLED EITHER IN PLACE OR ADJACENT TO THE EXISTING STRUCTURES, AND THE EXISTING STRUCTURES SHALL BE CONVERTED TO DRAIN MANHOLES. WHERE THE EXISTING CATCH BASINS WITH SUMPS DO NOT HAVE GREEN TRAPS, GREEN TRAPS SHALL BE INSTALLED. IF THEY HAVE OUTLETS EXCEEDING 12" DIAMETER, REPORT CONDITIONS TO THE ENGINEER TO DETERMINE THE COURSE OF ACTION THAT IS REQUIRED.

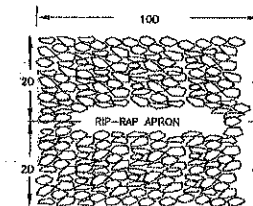


COLLAR FOR 8" TRAP
(NOT TO SCALE)

BODY FOR 8" TRAP
(NOT TO SCALE)

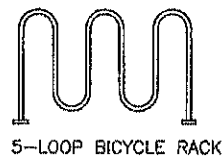


TYPICAL HEADSTONE FOR CATCH BASIN
(NOT TO SCALE)



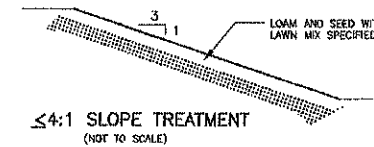
THE RIP RAP APRON SHALL CONSIST OF A LAYER OF STONE 12 INCHES IN THICKNESS OR MORE, PLACED UPON A BED OF SAND AND GRAVEL 6 INCHES IN THICKNESS. THE STONES SHALL BE SIZED SO THAT NOT LESS THAN 60 PERCENT SHALL HAVE ONE DIMENSION 12 INCHES OR MORE. THE STONES, AFTER BEND LAD, SHALL BE CAREFULLY CHIPPED BY HAND TO MAKE A REASONABLY SMOOTH AND SHARP SURFACE.

TYPICAL FLARED END SECTION
WITH SCOUR PROTECTION
(NOT TO SCALE)

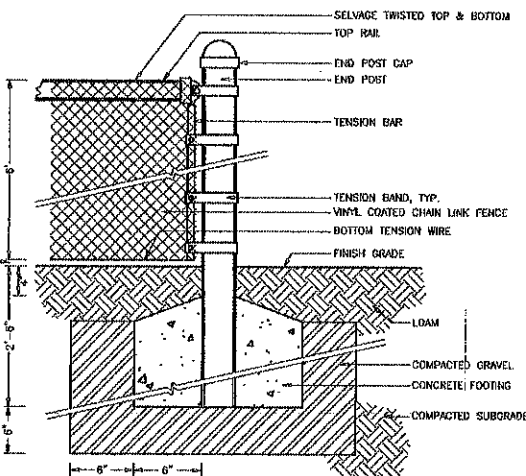


5-LOOP BICYCLE RACK
(NOT TO SCALE)

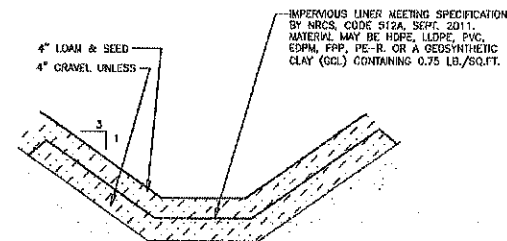
BIKE RACKS SHALL BE CONSTRUCTED OF STEEL OR ALUMINUM PIPE WITH A FINISH AND COLOR TO BE APPROVED BY THE ARCHITECT. RACKS SHALL BE PERMANENTLY SECURED TO THE REINFORCED CONCRETE WALKS WITH FLANGES AND BOLTS. FLANGE COVERS SHALL COVER EXPOSED BOLTS TO CREATE A SMOOTH FINISHED APPEARANCE.



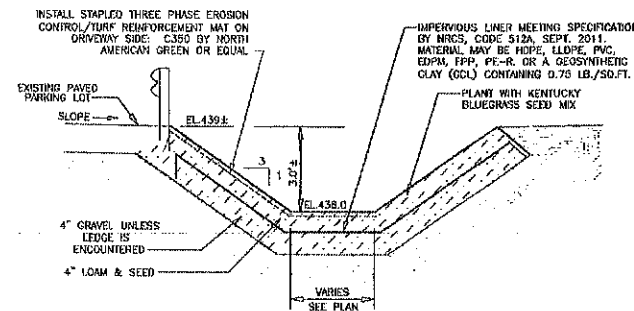
4:1 TO 2.5:1 SLOPE TREATMENT
(NOT TO SCALE)



VINYL COATED CHAIN LINK FENCE
(NOT TO SCALE)



IMPERVIOUS LINER IN POND 25
(NOT TO SCALE)



SEDIMENT FOREBAY AT EXISTING PARKING LOT
(NOT TO SCALE)



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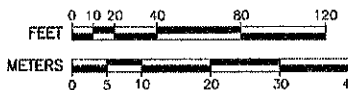
31 Main Street, Post Office Box 570, Boylston, MA 01003
Telephone: 508-869-6161 FAX: 508-869-6842

CLT. NO. 1032 JOB NO. 348-3261

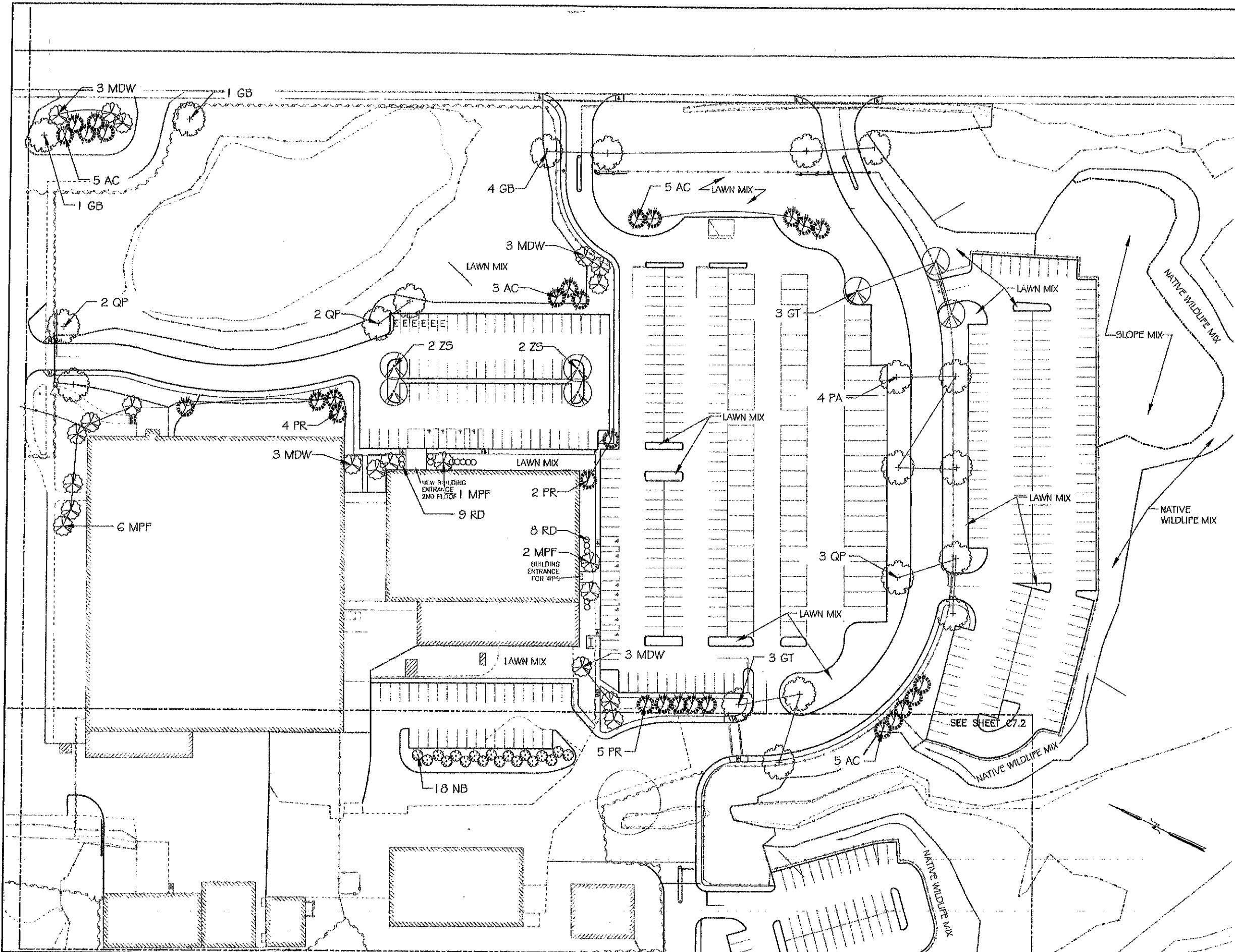
DATE: JANUARY 13, 2020 DWG. NO. CHACHARONE ALLEGRO CURRENT

DATE	REVISIONS DESCRIPTION
2/10/2020	UPDATED FOR NOTICE OF INTENT FILING
8/10/2020	REVISION AND RESPOND TO STAFF COMMENTS
10/19/2020	UPDATE FOR CONSERVATION REVISIONS
11/30/2020	UPDATE FOR PLANNING REVIEW
1/4/2021	CONDITIONS OF APPROVAL

SCALE: 1 INCH = 40 FEET



DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST BOYLSTON STREET, SUITE LLO5
WORCESTER, MASS. 01605

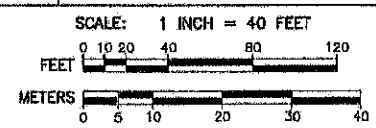


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 Landscape Architecture, LLC
 219 ellis rd, suite b
 westminster, ma 01473
 phone: 978.549.0337
 email: lte@ltelandarch.com
 website: www.ltelandarch.com

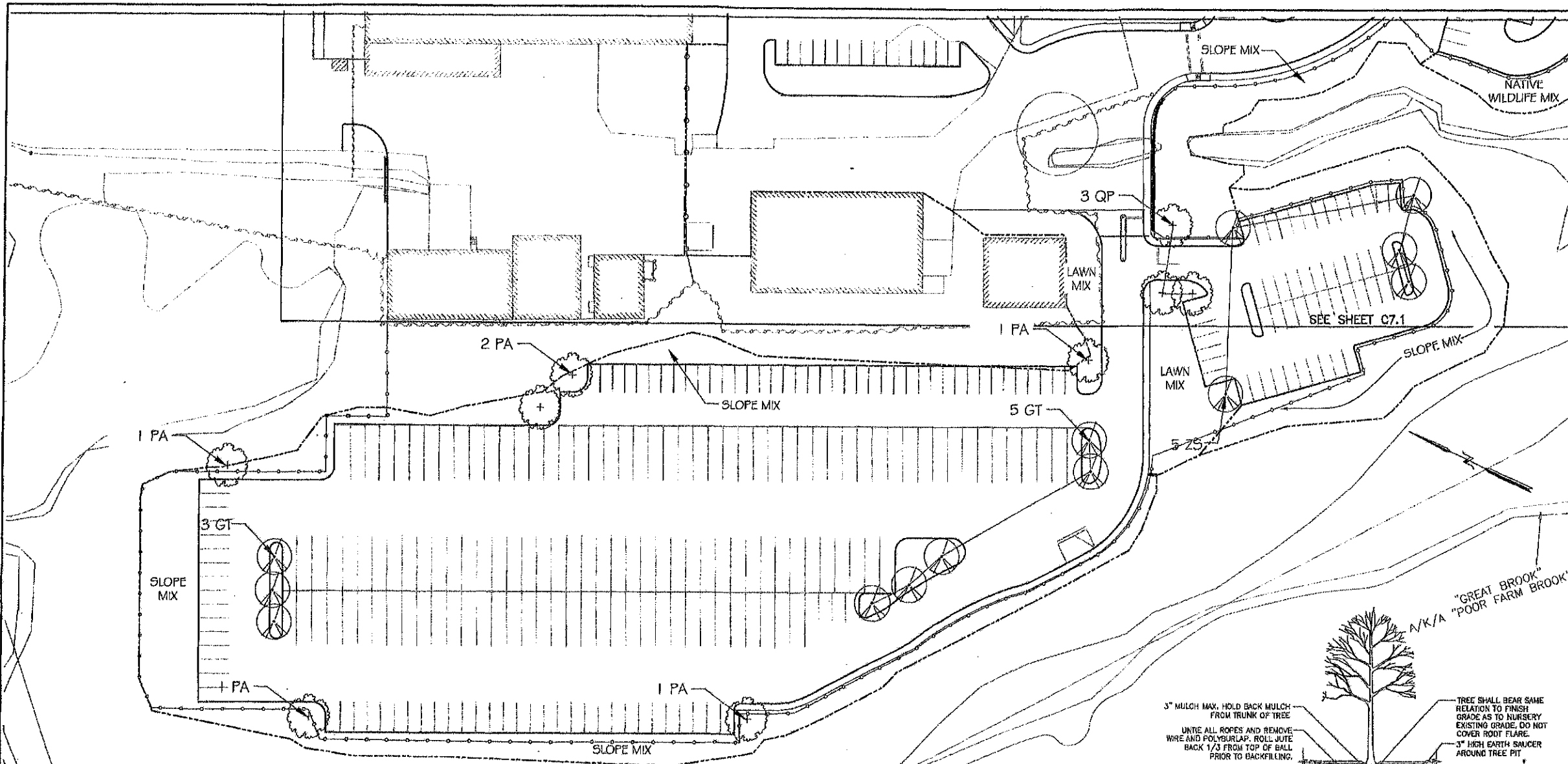
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CLT. NO. 1032 JOB NO. 348-3261
 DATE: JANUARY 13, 2020 DWG NO. CHACHARONE ALLEGRO CURRENT

DATE	DESCRIPTION
2-10-20	ISSUED LANDSCAPE PLAN
8-28-20	REVISED WESTERN LOT, ADDED SEED MIXES
11-30-20	UPDATE FOR PLANNING REVIEW



DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE 1105
 WORCESTER, MASS. 01605



PLANT SCHEDULE

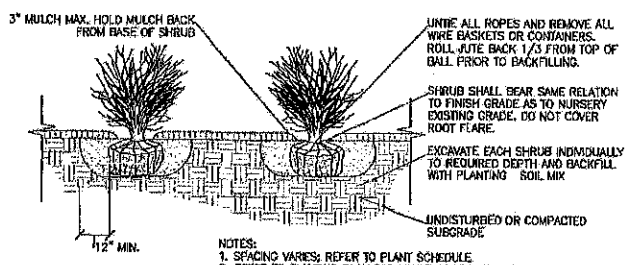
ID	Quan	Botanical Name	Common Name	Size	Other
Entrance Ornamental Trees and shrubs					
MDW	12	Malus 'Donald Wyman'	Donald Wyman Crabapple	3.5" cal	@ 6" above ground
MPF	9	Malus 'Prairie Fire'	Prairie Fire Crabapple	3.5" cal	@ 6" above ground
NB	18	Myrica pennsylvanica	Northern Bayberry	24-36"	
RD	17	Rhododendron [5-6' height varieties]	Rhododendron	24-36"	Do amend soil
Street and Parking Lot Trees					
GB	6	Ginkgo biloba	Ginkgo Tree	3.5" cal	@ 6" above ground
GT	14	Gleditsia triacanthos Inermis	Thornless Honeylocust	3.5" cal	@ 6" above ground
PA	10	Platanus acerifolia	London Plane Tree	3.5" cal	@ 6" above ground
QP	10	Quercus palustris	Pin Oak	3.5" cal	@ 6" above ground
ZS	9	Zelkova serrata	Zelkova Tree	3.5" cal	@ 6" above ground
AC	18	Abies concolor	White Fir	7-8' ht	
PR	11	Pinus resinosa	Red Pine	7-8' ht	
Totals: street/park trees = 78, ornamental trees = 21, TOTAL TREES = 99. Parking spaces = 753					

GENERAL LANDSCAPE NOTES

- All work and materials shall comply with all pertinent Town regulations, codes, O.S.H.A and American Nurseryman Standards.
- All plant material must be maintained appropriately for each plant's requirements per industry standards until established. Water and organically fertilize plants until established.
- All tree and vegetation removal shall be completed by an Asian Longhorned Beetle certified contractor.
- All trees planted shall be Asian Longhorned Beetle resistant.
- All disturbed areas to be loamed and seeded with specified seed mix, unless otherwise specified.

SOIL NOTES

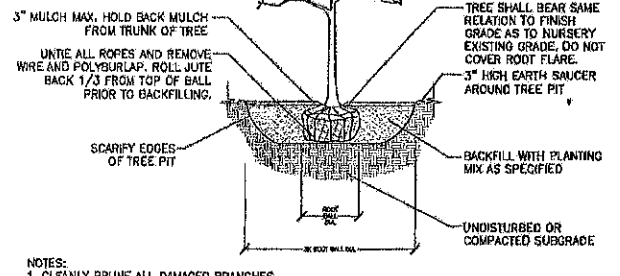
- Soil is key for successful germination and sustainability. Soil should be free of rocks, stumps, large roots, lumber, or foreign objects that could interfere with grading and seed establishment. Check the degree of compaction and amend as necessary to create non-compacted soils.
- Testing of soil must be done prior to installation of plant material or lawn or sloped grassed areas to determine how much organic matter, fertilizer, lime, and phosphorus should be incorporated into soil, and amend as required. Special notice of phosphorus levels must be taken on this property to prevent unnecessary overuse of phosphorus. Testing should occur every 3 or 4 years. Use only low phosphorus fertilizer or no phosphorus fertilizer.
- Where the slope or existing soil has a soil that is over 3% organic and under 2:1 slope a blown compost with erosion control seed is to be used. Make sure phosphorus levels in this compost is low.
- Where soils are exclusively sub soil or glacial till, a minimum of 4" loam containing organic matter is required. Amend the soil to meet this.



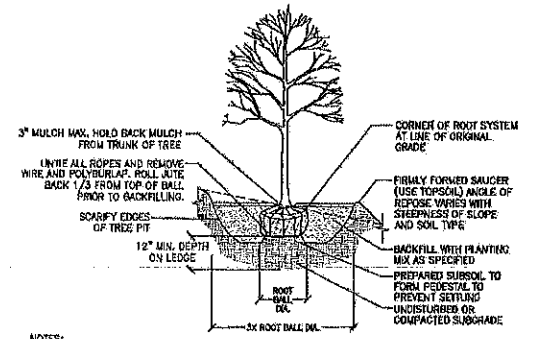
1 SHRUB PLANTING DETAIL

SEEDING NOTES

- Seed shall be a high quality seed with high viability % and low weed seed %.
- Slope Mix areas: New England Erosion Control/Restoration Mix for Dry Sites (New England Wetland Plants, Amherst MA) mixed with New England Conservation/Wildlife or (ERNMX-181) Native Steep Slope Mix w/Annual Ryegrass (Ernst Seed)
- Grass/Lawn seed mix (for level areas and around the building): This seed mix should reflect a mixture of Perennial Ryegrass, Tall Fescues, Fine Fescues, and a variety (min 3) of Kentucky Bluegrasses.
- Native Wildlife Mix: New England Conservation/Wildlife Mix (New England Wetland Plants, Amherst MA).
- Hydro-seeding: When Hydro-seeding, utilize a wood fiber hydro-mulch with polyacrylamide tackifier, not a paper pulp based tackifier mix. Paper pulp based mixes tend to create a paper mache like shell while the soil dries and shrinks away holding the seed dry above soil contact. Apply by hydro-seeding. Lightly rake, or roll to ensure proper soil-seed contact.
- Maintenance: Maintain (watering, weeding, check for problems) until established.



2 TREE PLANTING DETAIL



3 TREE PLANTING ON SLOPE DETAIL



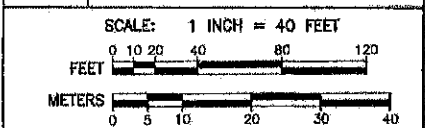
Laurie Tarr Ellsworth
Landscape Architecture, LLC
219 ellis rd, suite b
westminster, ma 01473
phone: 978.549.0337
email: lte@ltdlandarch.com
website: www.ltdlandarch.com

THOMPSON-LISTON ASSOCIATES, INC.
Professional Engineers Professional Land Surveyors
Erosion Control Specialists
61 Main Street, Post Office Box 670, Boylston, MA 01905
Telephone 508-869-6151 FAX 508-869-6842

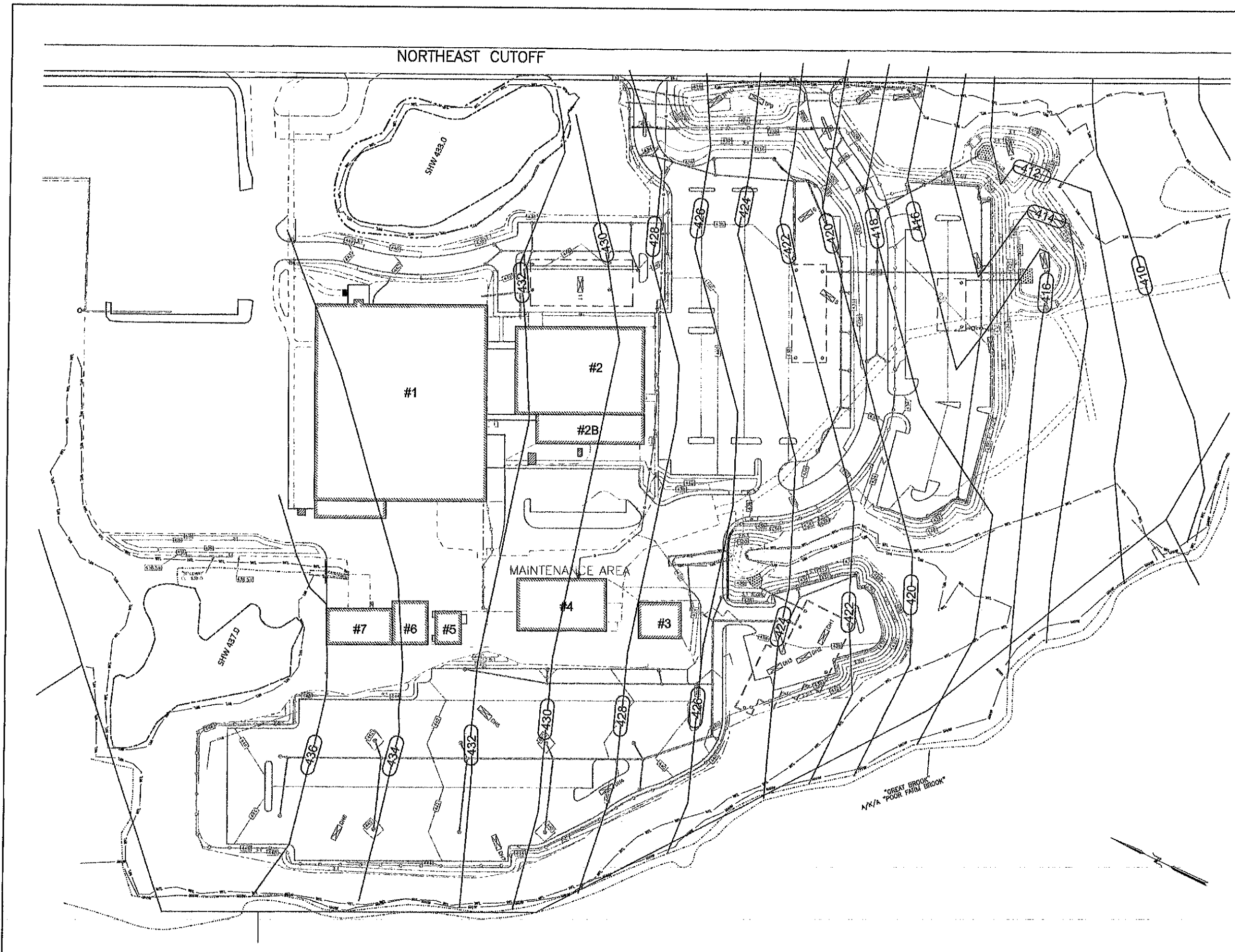
CLT. NO. 1032 JOB NO. 348-3261

DATE: JANUARY 13, 2020 DWG NO. CHACHARONE ALLEGRO CURRENT

DATE	REVISIONS DESCRIPTION
2-10-20	ISSUED LANDSCAPE PLAN
8-28-20	REVISED WESTERN LOT, ADDED SLOPE MIX
11-30-20	UPDATE FOR PLANNING REVIEW



DEFINITIVE SITE PLAN OF LAND AT
115 NORTHEAST CUTOFF
WORCESTER, MASSACHUSETTS
PREPARED FOR
115 NORTHEAST CUTOFF REALTY TRUST
1 WEST DOYLSTON STREET, SUITE L105
WORCESTER, MASS. 01605



- KEY ---
- BROOK OR POND HIGH WATER LINE
 - 25' RIVERFRONT AREA
 - MEAN ANNUAL HIGH WATER LINE
 - BORDERING VEGETATED WETLAND
 - 15' CITY WETLAND BUFFER
 - 30' CITY WETLAND BUFFER
 - 100' BUFFER ZONE
 - FEMA ZONE A LINE
 - DRAIN LINE
 - SEWER LINE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCHBASIN WITH HEADER
 - FLARED END SECTION
 - WATER LINE
 - WATER GATE
 - WATER SHUT OFF
 - HYDRANT
 - GAS LINE
 - EDGE OF PAVEMENT
 - BITUMINOUS BERM
 - GRANITE CURB
 - GRANITE MONUMENT
 - CONCRETE MONUMENT
 - OVERHEAD WIRES
 - UTILITY POLE
 - CHAIN LINK FENCE
 - 2' CONTOUR
 - 10' CONTOUR
 - PROPOSED CONTOUR
 - STONE WALL
 - TEST HOLE LOCATIONS

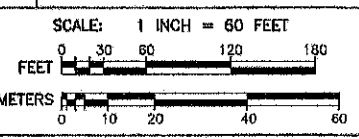


THOMPSON-LISTON ASSOCIATES, INC.
 Professional Engineers Professional Land Surveyors
 Erosion Control Specialists
 51 Main Street, Post Office Box 570, Boylston, MA 01506
 Telephone 508-859-6151 FAX 508-859-6842

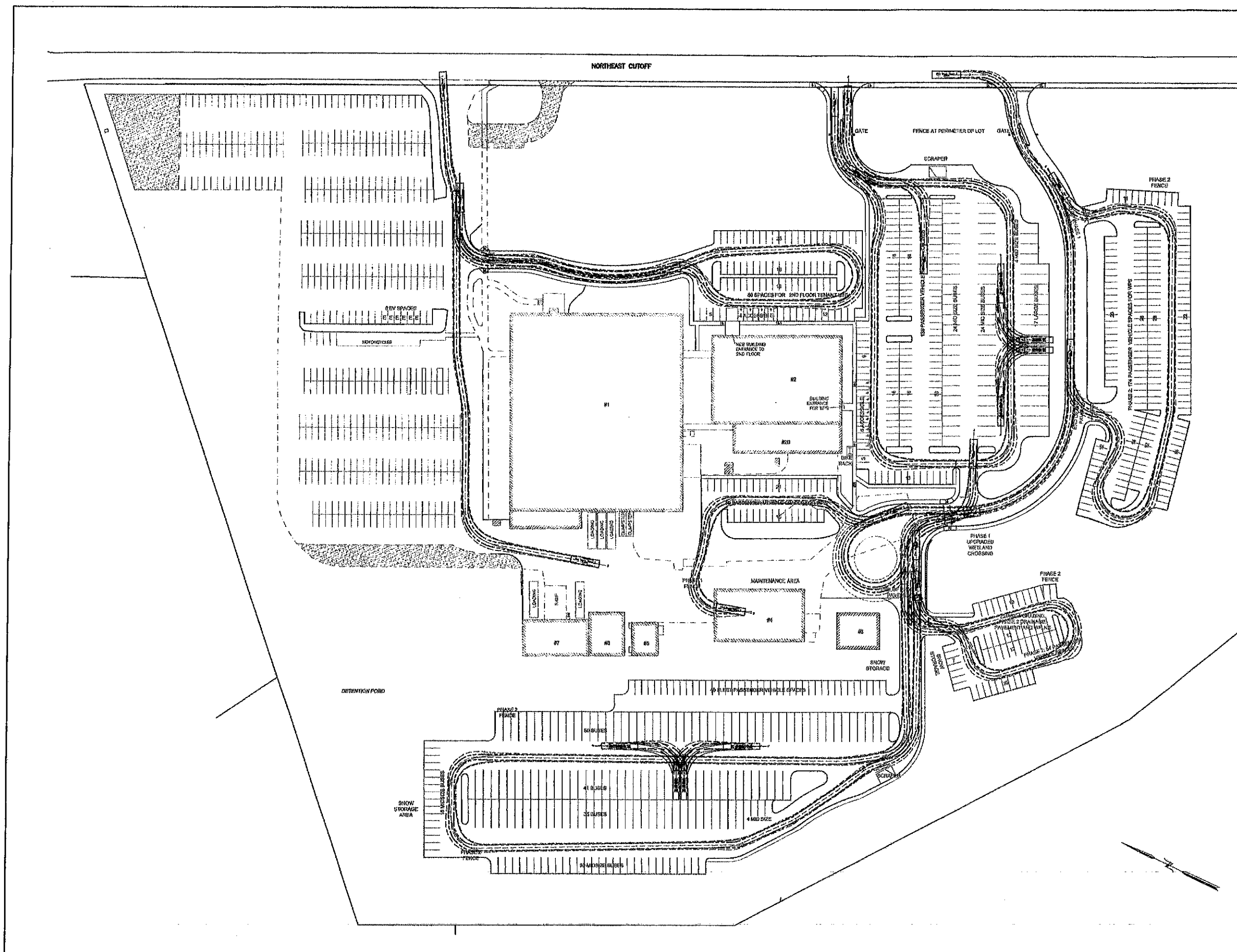
CLT. NO. 1032 JOB NO. 348-3261

DATE: JANUARY 13, 2020 DWG. NO. CHACHARONE ALLEGRO CURRENT

REVISIONS	
DATE	DESCRIPTION
11/12/2020	GROUNDWATER EXHIBIT ADDED TO SET
1/4/2021	CONDITIONS OF APPROVAL



DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE LL05
 WORCESTER, MASS. 01605



--- KEY ---

- BROOK OR POND HIGH WATER LINE
- 25' RIVERFRONT AREA
- MEAN ANNUAL HIGH WATER LINE
- BORDERING VEGETATED WETLAND
- 15' CITY WETLAND BUFFER
- 30' CITY WETLAND BUFFER
- 100' BUFFER ZONE
- FEMA ZONE A 15% DRAIN LINE
- SEWER LINE
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- OVERHEAD WIRES
- UTILITY POLE
- CHAIN LINK FENCE
- 2' CONTOUR
- 10' CONTOUR
- PROPOSED CONTOUR
- STONE WALL
- TEST HOLE LOCATIONS

VEHICLE TYPE (FIRE TRUCK OR LARGE SCHOOL BUS)

REAR WHEELS

FRONT WHEELS

PATH OF FRONT WHEELS

PATH OF REAR WHEELS

VEHICLE CHARACTERISTICS

KEY TO VEHICLE TURNING TEMPLATE

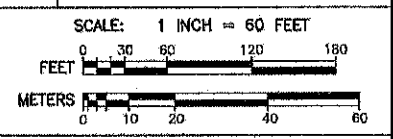


THOMPSON-LISTON ASSOCIATES, INC.
 Professional Engineers Professional Land Surveyors
 Erosion Control Specialists
 51 Main Street, Post Office Box 670, Boylston, MA 01505
 Telephone 508-869-6151 FAX 508-869-6842

CLT. NO. 1032 JOB NO. 348-3261

DATE: JANUARY 13, 2020 DWG. NO. CHACHARONE ALLEGRO CURRENT

DATE	REVISIONS DESCRIPTION
11/11/2020	TURNING TEMPLATE EXHIBIT ADDED TO SET
1/4/2021	CONDITIONS OF APPROVAL



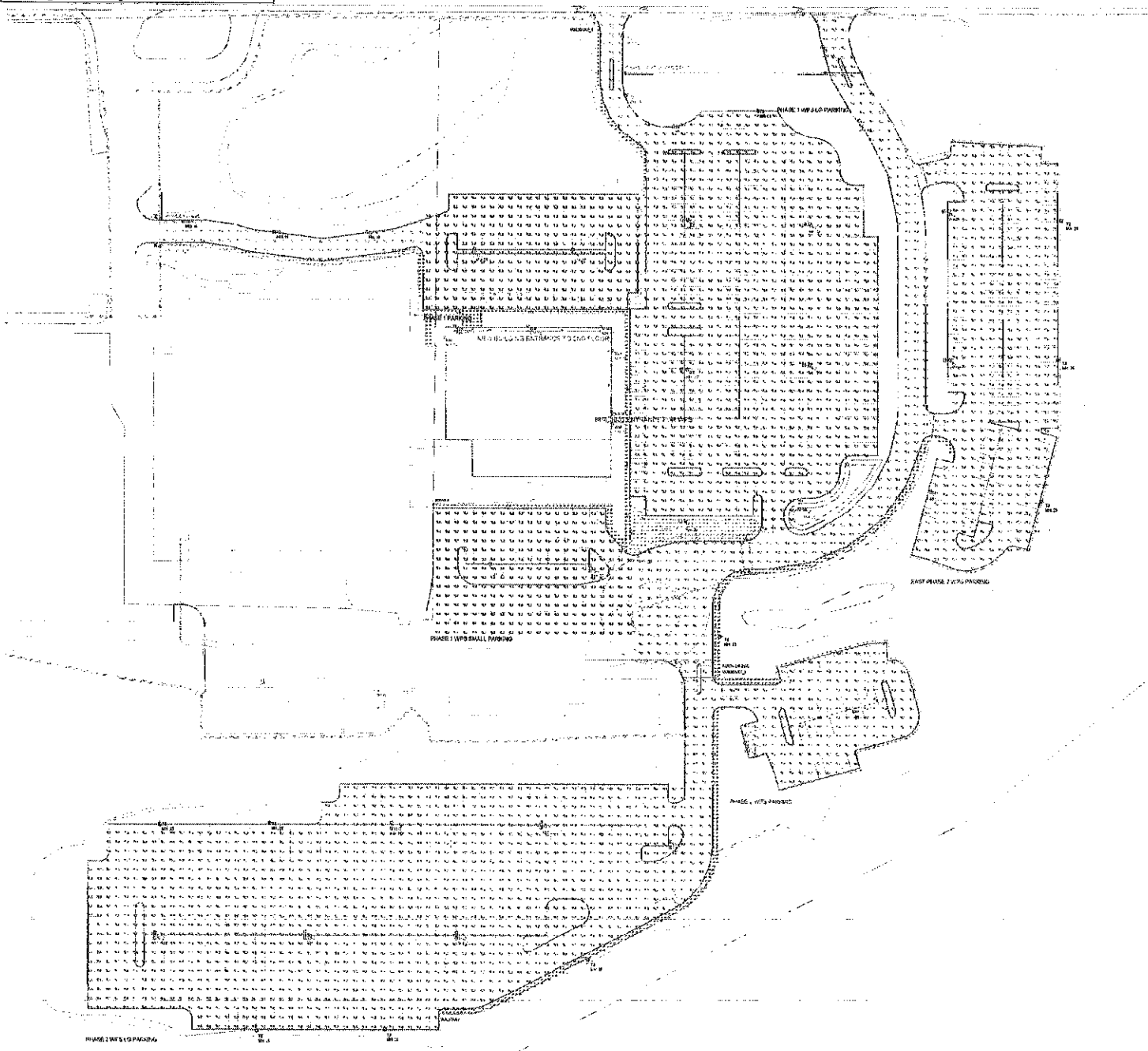
DEFINITIVE SITE PLAN OF LAND AT
 115 NORTHEAST CUTOFF
 WORCESTER, MASSACHUSETTS
 PREPARED FOR
 115 NORTHEAST CUTOFF REALTY TRUST
 1 WEST BOYLSTON STREET, SUITE L105
 WORCESTER, MASS. 01605

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Lum. Lumens	LLF	Description	Filename
-	10	T3	SINGLE	N.A.	14155	0.900	MRM-LED-18L-SIL-3-40-70CRI-IL	MRM-LED-18L-SIL-3-40-70CRI-IL.ies
-	6	T5	SINGLE	N.A.	18379	0.900	MRM-LED-18L-SIL-5W-40-70CRI	MRM-LED-18L-SIL-5W-40-70CRI.ies
-	15	T5-2	BACK-BACK	N.A.	18379	0.900	2@180 MRM-LED-18L-SIL-5W-40-70CRI	MRM-LED-18L-SIL-5W-40-70CRI.ies
-	8	T2	SINGLE	N.A.	5835	0.900	MRM-LED-09L-SIL-2-40-70CRI-IL	MRM-LED-09L-SIL-2-40-70CRI-IL.ies
-	6	WM	SINGLE	N.A.	4124	0.900	XWM-3-LED-04L-40	XWM-3-LED-04L-40.ies

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
EAST PHASE 2 WPS PARKING	Illuminance	Fc	1.37	4.4	0.2	6.85	22.00	readings taken at grade
MAIN DRIVE	Illuminance	Fc	1.38	4.8	0.1	13.80	48.00	readings taken at grade
PHASE 1 DRIVE	Illuminance	Fc	1.97	4.9	0.2	9.85	24.50	readings taken at grade
PHASE 1 PARKING	Illuminance	Fc	1.06	2.3	0.4	2.65	5.75	readings taken at grade
PHASE 1 WPS LG PARKING	Illuminance	Fc	1.58	4.5	0.4	3.95	11.25	readings taken at grade
PHASE 1 WPS LG PKG DRIVE	Illuminance	Fc	2.17	4.7	0.1	21.70	47.00	readings taken at grade
PHASE 1 WPS SMALL PARKING	Illuminance	Fc	1.38	4.6	0.2	6.90	23.00	readings taken at grade
PHASE 2 WPS LG PARKING	Illuminance	Fc	1.65	4.5	0.2	6.25	22.50	readings taken at grade
PHASE 2 WPS PARKING	Illuminance	Fc	0.92	2.2	0.3	3.07	7.33	readings taken at grade
SIDEWALK	Illuminance	Fc	1.67	5.3	0.3	6.57	17.67	readings taken at grade
WALKWAY	Illuminance	Fc	0.96	2.7	0.2	4.80	13.50	readings taken at grade
WALKWAY_1	Illuminance	Fc	1.03	2.4	0.3	3.43	8.00	readings taken at grade
WALKWAY_2	Illuminance	Fc	2.45	4.6	1.3	1.88	3.54	readings taken at grade
WALKWAY_3	Illuminance	Fc	0.17	0.7	0.0	N.A.	N.A.	readings taken at grade
WALKWAY_4	Illuminance	Fc	0.44	1.3	0.0	N.A.	N.A.	readings taken at grade

Label	Type	Description
BLDG 2A 2B	Polygon-Flat	30 ft tall

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 - 2) CALCULATIONS DO SHOW THE EFFECT OF SHADOWING CAUSED BY BLDGS 2A AND 2B WITHIN THE AREA.
 - 3) READINGS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN IN NUMERIC SUMMARY.
 - 4) FIXTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
 - 5) TILT ANGLE IS THE RAISING AND LOWERING OF THE FIXTURE HEAD.
 - 6) THE LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 - 7) CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.
 - 8) LUMINAIRE LUMENS = LUMENS LEAVING LUMINAIRE WITH EFFICIENCY CONSIDERED.



View: 1:OVERALL
Scale: 1 Inch= 80 Ft.

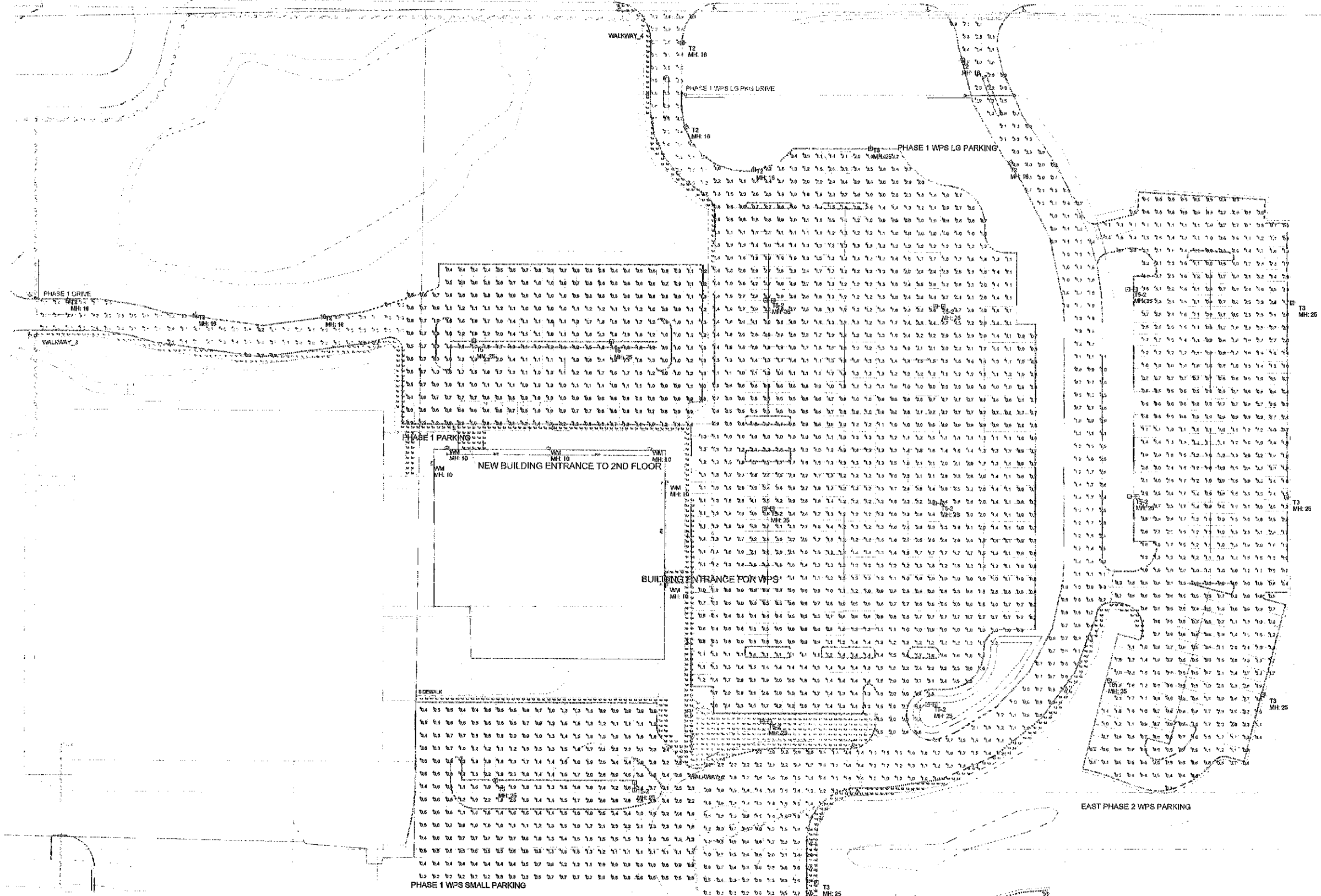
**CHACHARONE ALLEGRO PARKING
REVISED LIGHTING LAYOUT
PARKING, SIDEWALKS, AND DRIVES**

DESIGNED BY:
J. JAQUES
SCALE: AS SHOWN
REFERENCE: EX09B00A.AGI
DATE: 12/2/2020

LIGHTING APPLICATION
3000 LUMENS
3000 LUMENS
SAN MARCOS, TX 78666
512-353-3800 PH/FAX
512-787-0477 CELL

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NOT AUTHORIZED BY LIGHTING APPLICATION SCIENCES.

- NOTES:
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 - 8) LUMINAIRE LUMENS = LUMENS LEAVING LUMINAIRE WITH EFFICIENCY CONSIDERED.



View 1: TOP
Scale: 1 Inch = 40 Ft.

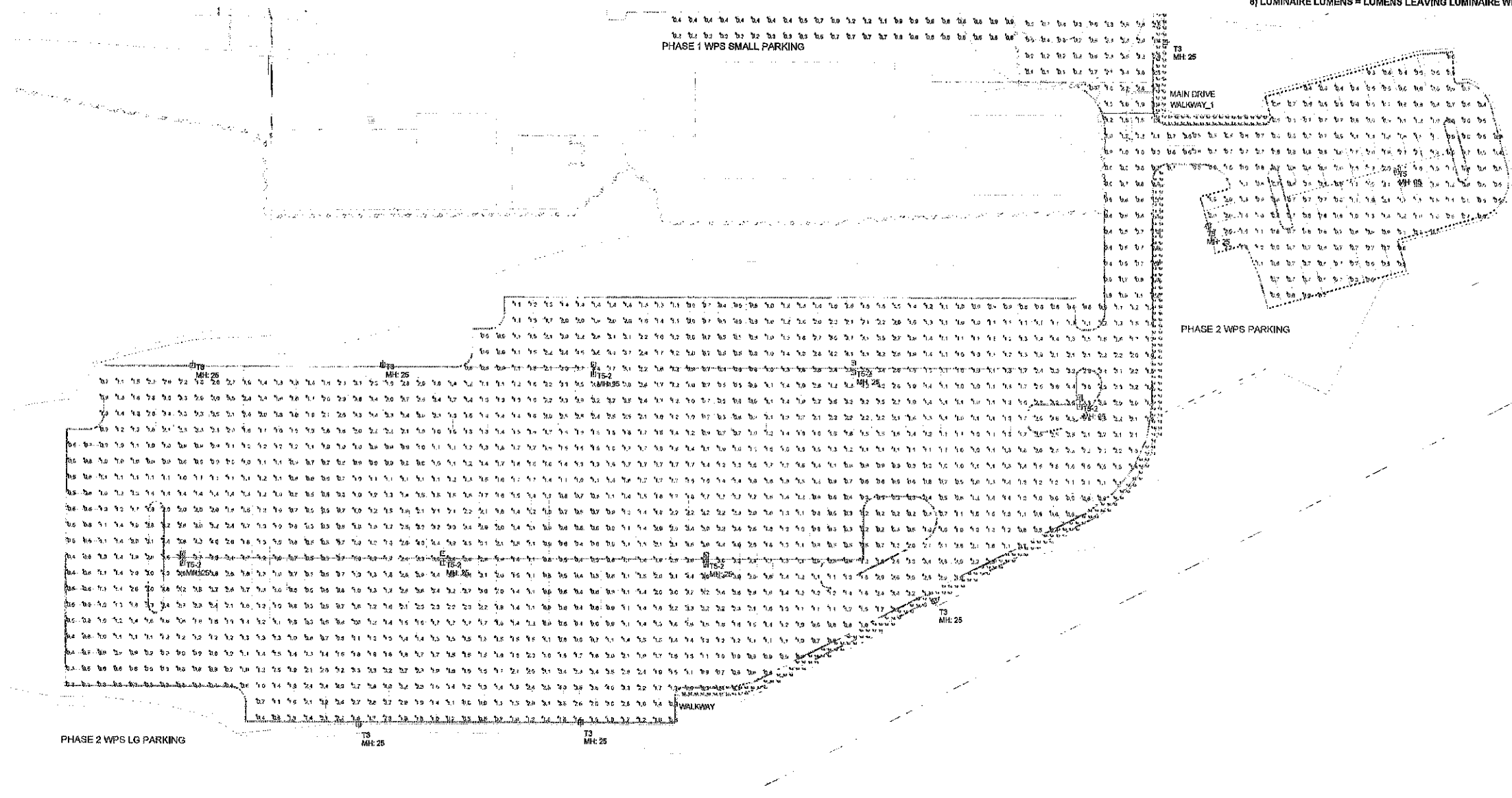
**CHACHARONE ALLEGRO PARKING
REVISED LIGHTING LAYOUT
PARKING, SIDEWALKS, AND DRIVES**

DESIGNED BY:
J. JAQUES
SCALE AS SHOWN
REFERENCE: ECD9800A.AXI
R&L328, VENTURUSON, 19.15.0

LIGHTING APPLICATION
205 WILKWOOD DRIVE
SAN MARCOS, TX 78666
512-353-8890 PH/FAX
512-787-0477 CELL

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 - 8) LUMINAIRE LUMENS = LUMENS LEAVING LUMINAIRE WITH EFFICIENCY CONSIDERED.



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Lum. Lumens	LLF	Description	Filename
□	10	T3	SINGLE	N/A	14153	0.800	MRM-LED-18L-SIL-3-40-70CRI-IE	MRM-LED-18L-SIL-3-40-70CRI-IE
□	8	T5	SINGLE	N/A	18379	0.900	MRM-LED-18L-SIL-SW-40-70CRI	MRM-LED-18L-SIL-SW-40-70CRI-IES
□	15	T6-2	BACK-BACK	N/A	18379	0.900	2@180 MRM-LED-18L-SIL-SW-40-70CRI	MRM-LED-18L-SIL-SW-40-70CRI-IES
□	8	T2	SINGLE	N/A	5835	0.900	MRM-LED-09L-SIL-2-40-70CRI-IE	MRM-LED-09L-SIL-2-40-70CRI-IE
□	8	WM	SINGLE	N/A	4124	0.900	XWM-3-LED-04L-40	XWM-3-LED-04L-40-ies

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
EAST PHASE 2 WPS PARKING	Illuminance	Fc	1.37	4.4	0.2	6.85	22.00	readings taken at grade
MAIN DRIVE	Illuminance	Fc	1.38	4.8	0.1	13.80	48.00	readings taken at grade
PHASE 1 PARKING	Illuminance	Fc	1.07	4.9	0.2	9.85	24.30	readings taken at grade
PHASE 1 WPS LG PARKING	Illuminance	Fc	1.58	4.5	0.4	3.86	11.25	readings taken at grade
PHASE 1 WPS LG PKG DRIVE	Illuminance	Fc	2.17	4.7	0.1	21.70	47.00	readings taken at grade
PHASE 1 WPS SMALL PARKING	Illuminance	Fc	1.38	4.6	0.2	5.90	23.00	readings taken at grade
PHASE 2 WPS LG PARKING	Illuminance	Fc	1.65	4.5	0.2	8.25	22.50	readings taken at grade
PHASE 2 WPS PARKING	Illuminance	Fc	0.92	2.2	0.3	3.07	7.33	readings taken at grade
SIDEWALK	Illuminance	Fc	1.87	6.3	0.5	5.57	17.87	readings taken at grade
WALKWAY	Illuminance	Fc	0.96	2.7	0.2	4.80	13.50	readings taken at grade
WALKWAY 1	Illuminance	Fc	1.03	2.4	0.5	3.43	8.00	readings taken at grade
WALKWAY 2	Illuminance	Fc	2.45	4.0	1.3	1.89	3.54	readings taken at grade
WALKWAY 3	Illuminance	Fc	0.17	0.7	0.0	N/A	N/A	readings taken at grade
WALKWAY 4	Illuminance	Fc	0.44	1.3	0.0	N/A	N/A	readings taken at grade

Label	Type	Description
BLDG 2A 2B	Polygon-Flat	30 ft tall

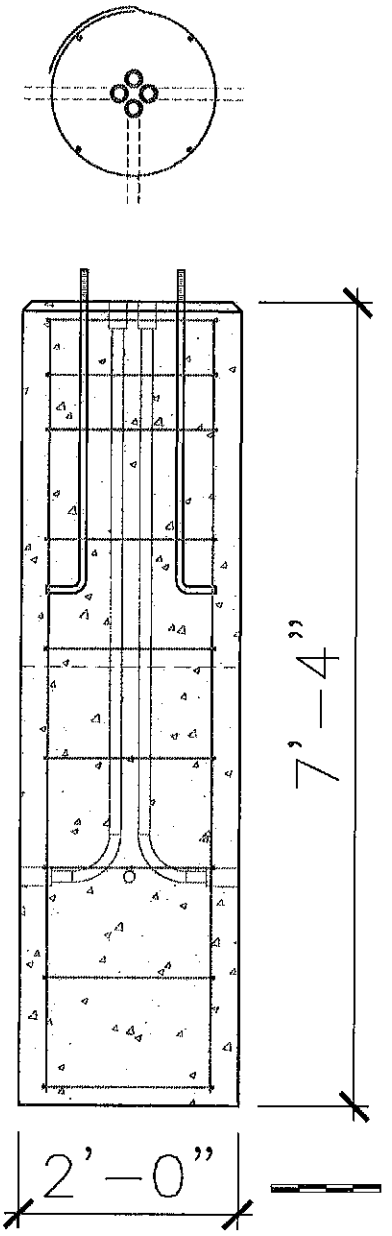
View 1:TOP
Scale: 1 inch= 40 Ft.

CHACHARONE ALLEGRO PARKING
REVISED LIGHTING LAYOUT
PARKING, SIDEWALKS, AND DRIVES

DESIGNED BY:
J. JACQUES
SCALE: AS SHOWN
REFERENCE: EX03800A.ACI
AGE: 2024 Version: 19.11.10
Page 3 of 3

LIGHTING APPLICATION
SCENARIOS
SAW WALKWAY 2X 78666
SAW WALKWAY 3X 78666
512-513-3690 PH/FAK
512-787-0477 CELL

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GREGOIRE ELECTRICAL
 COMPANY, INC.
 280 MAIN STREET
 SPENCER, MASSACHUSETTS 01662



NO.	REVISION

25' LIGHT POLE TYPICAL BASE DETAIL
 CHARCHARONE_ALLEGRO LOT LIGHTING

DATE: 5/7/16
 JOB NO: 15-999
 SHEET NUMBER:
 SL
 DETAIL